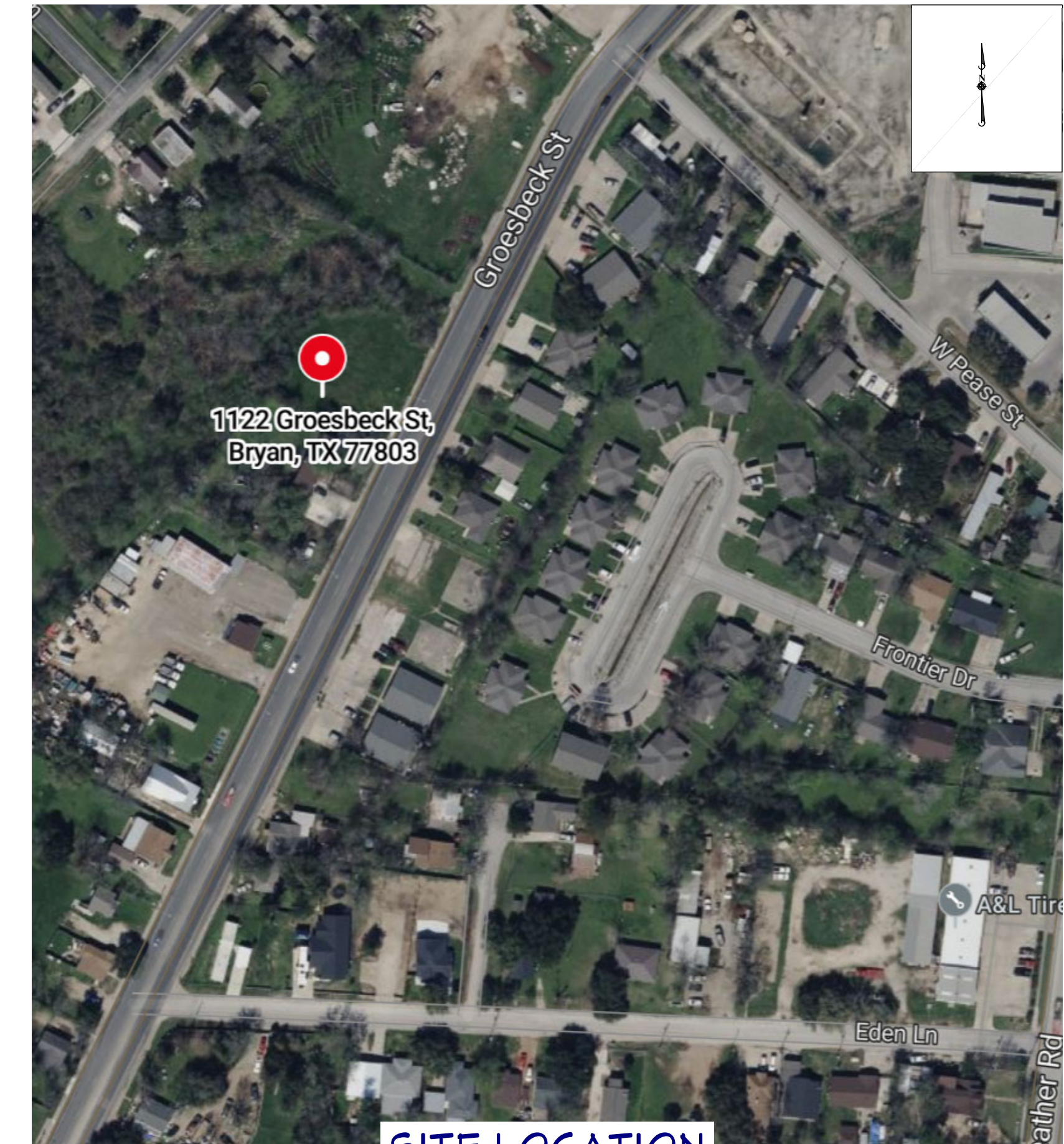
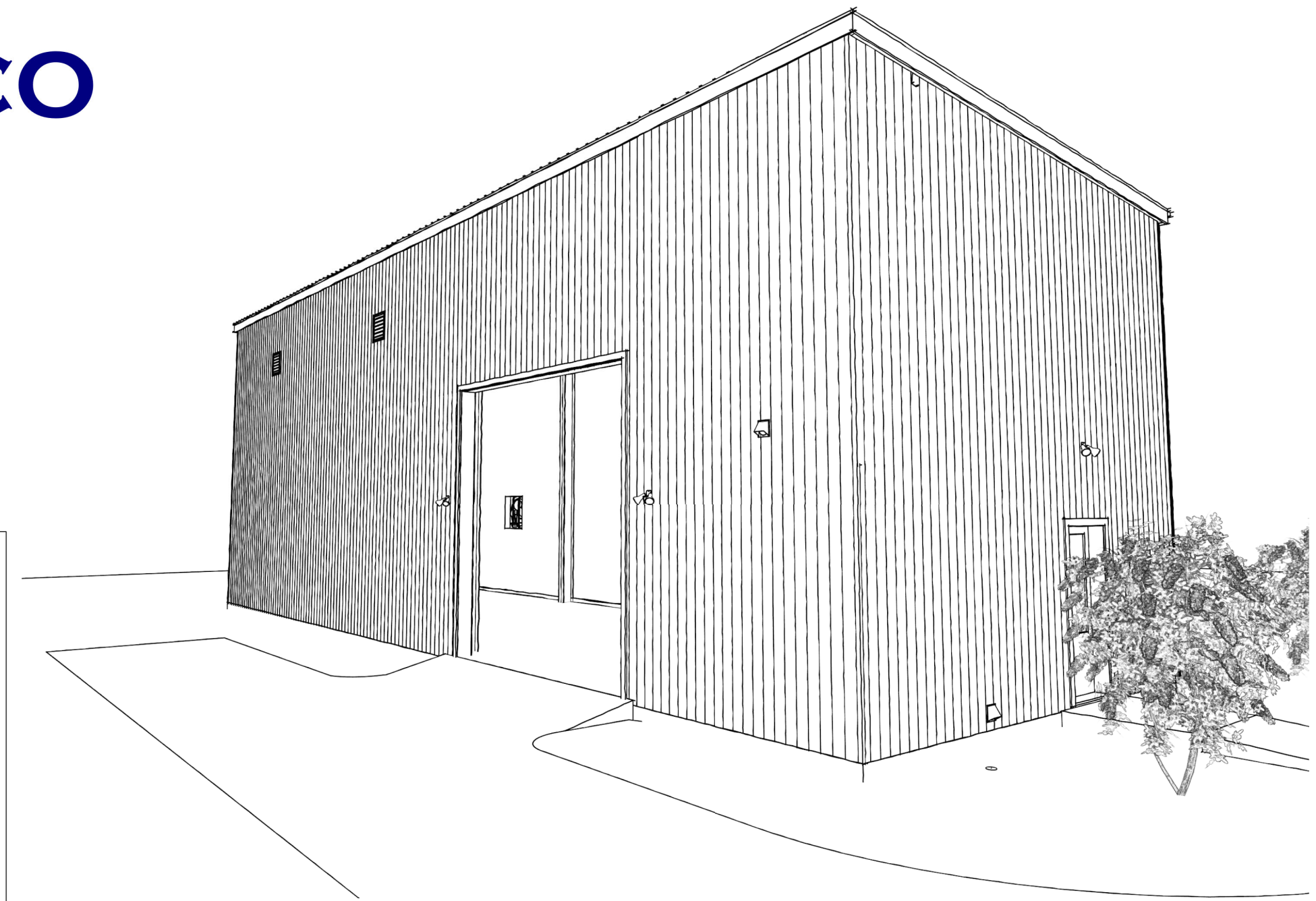


# WAREHOUSE SPACE FOR DECORACIONES SOL MEXICO

ARTISTIC RENDERING NOT FOR CONSTRUCTION PURPOSES



SITE LOCATION

PROJECT INFORMATION	
SITE DATA	
SITE ZONING:	C3
NEW DEVELOPED AREA:	3784 SQ. FT.
BUILDING SIZE:	1500 SQ. FT.
PARKING REQUIRED (1 PER 300 SQ FT):	5 SPACES
PAVED PARKING SPACES:	2 (1 ACCESSIBLE)
BUILDING DATA	
CONSTRUCTION TYPE (IBC CH. 6):	IIB
BUILDING USE:	S-2 WAREHOUSE
COVERED BUILDING AREA:	2,361 SQ. FT.
TOTAL FIRE AREA:	1500 SQ. FT.
ALLOWABLE FIRE AREA:	36,000 SQ. FT.
FULLY ENCLOSED SPACE:	1,500 SQ. FT.
CONDITIONED SPACE:	0 SQ. FT.
NOMINAL EYE HEIGHT:	24 FT.
NOMINAL RIDGE HEIGHT:	25 FT.
ALLOWABLE RIDGE HEIGHT:	35 FT. COB STANDARDS TABLE 62-162
MAXIMUM STORAGE HEIGHT:	12 FT.

CODES AND REGULATIONS	
BUILDING CODE:	2021 IBC*
ELECTRIC CODE:	2023 NEC
MECHANICAL CODE:	2021 IMC
PLUMBING CODE:	2021 IPC
ACCESSIBILITY:	TAS 2012, ANSI 117.1-2017
ENERGY CODE:	2018 IECC
* SEE CITY OF BRYAN, TEXAS AMMENDMENTS TO ALL LISTED CODES	

IBC CHAPTER 7: FIRE RESISTANCE RATED CONSTRUCTION	
PRIMARY STRUCTURE:	0 HR
EXTERIOR BEARING WALLS:	0 HR
INTERIOR BEARING WALLS:	0 HR
EXTERIOR NON-BEARING WALLS:	0 HR
INTERIOR NON-BEARING WALLS:	0 HR

IBC CHAPTER 8: INTERIOR FINISHES	
ACCESS STAIRWELLS:	ASTM E84 CLASS A
ENCLOSED ROOMS AND SPACES:	ASTM E84 CLASS C

CHAPTER 9: FIRE PROTECTION SYSTEMS	
NO AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED OR PROVIDED	
ALL ASSOCIATED REQUIREMENTS OF CHS 7 AND 9 OF THE 2021 IBC SHALL BE OBSERVED	

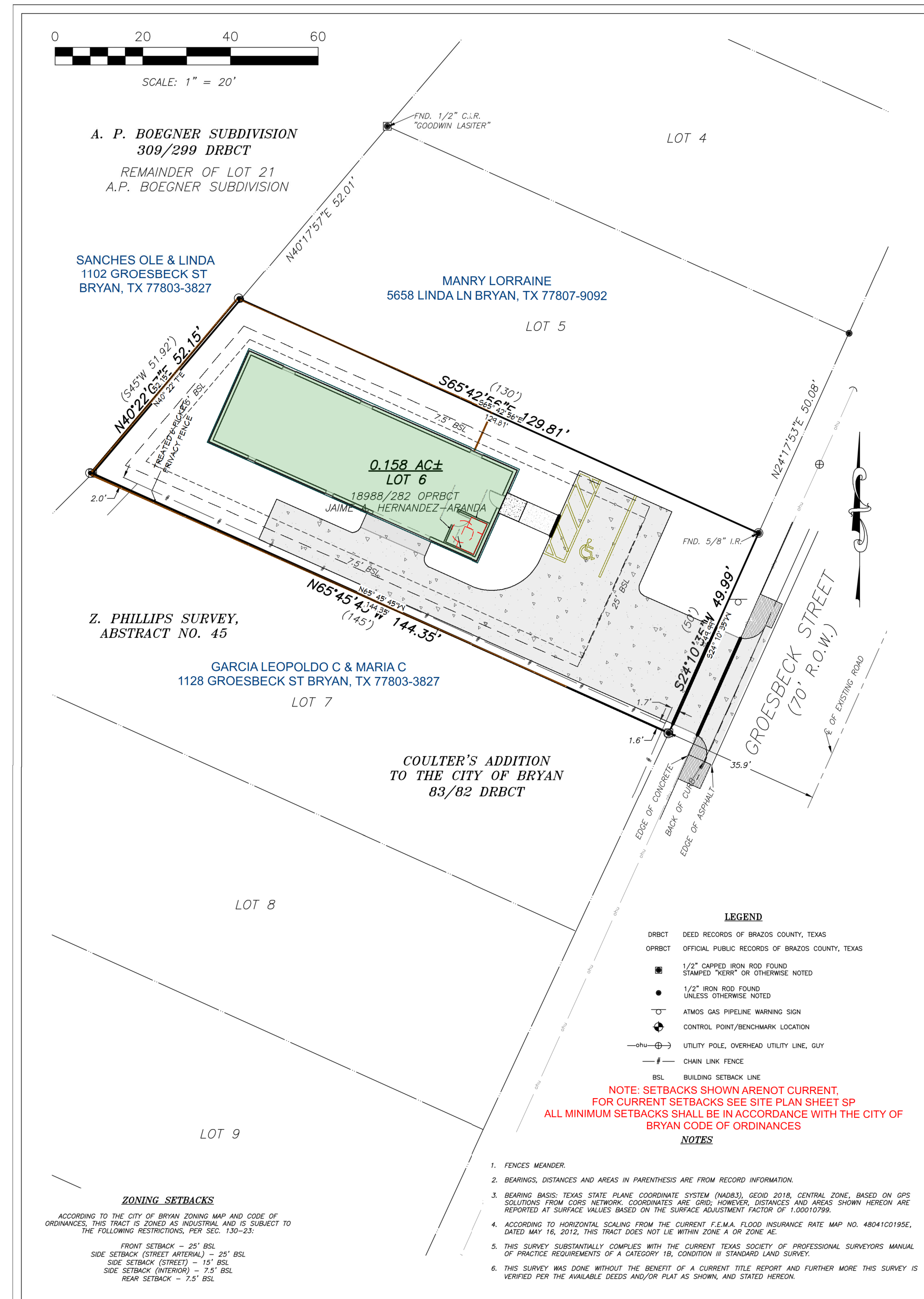
CHAPTER 10: OCCUPANCY AND EGRESS						
OCCUPANCY BY AREA						
AREA LABEL	GROSS SQ. FT.	NET SQ. FT.	HEATED	COOLED	FACTOR (IBC TABLE 1004.5)	OCCUPANCY
STORAGE AREA	1430	1300	NO	NO	1 PER 300	5
OFFICE RESTROOM	70	54	YES	YES	1 PER 200	0
TOTAL GROSS AREA	1500	1354				5

EGRESS REQUIREMENTS	
Maximum Allowable Travel Distance to Egress:	100 FT
Maximum Travel Distance Provided:	67 FT
Minimum number of Egress Locations:	1
Number of Egress Locations Provided:	1
STAIRWELL WIDTH REQUIRED:	N/A
STAIRWELL WIDTH PROVIDED:	N/A

IBC CH 29: PLUMBING CODE				
OCCUPANCY BUSINESS	MEN	WOMEN	Other	TOTAL
WATER CLOSETS REQUIRED / PROVIDED	0	0	5	5
LAVATORIES REQUIRED / PROVIDED	0	0	1	1
WATER FOUNTAINS REQUIRED / PROVIDED	0	0	1	1
SERVICE SINK REQUIRED / PROVIDED	0/0	0/0	0/0	0/0

Deferred Submittals:	Item	Provided By	Provided To
Select Fill Sample	Earthwork Contractor	QC Testing Lab / Ben Brown	
Plumbing Fixtures	Plumbing Contractor	Owner / General Contractor	
Electrical Fixtures / Panel / Plugs and Switches	Electrical Contractor	Owner / General Contractor	
Paint selection and color match	Painting Contractor	Owner / General Contractor	
Concrete Anchors	Concrete Contractor	Ben Brown / General Contractor	
Irrigation Design	Irrigation Contractor	Owner / General Contractor	
ADA Parking Sign & Post	Striping contractor	Owner / General Contractor	
PEMB Design	PEMB Provider	Ben Brown / Owner	
RAS Review	Eddie Hare	Owner / General Contractor	
Anchor Bolt Design	Ben Brown	Owner / General Contractor	

Required 3rd Party Inspections		
* These are independent inspections in addition to inspections completed by the City of Bryan		
Item to be inspected	Inspector	Report To
Select Fill Sample	QC Lab	Ben Brown / Owner
Compaction Report - Each Lift	QC Lab	Ben Brown / Owner
Concrete Slab mix design	Concrete Provider	Ben Brown / Owner
Concrete Test Cylinders	QC Lab	Ben Brown / Owner
Concrete Driveway mix design	Concrete Provider	Ben Brown / Owner
Driveway Test Cylinders	QC Lab	Ben Brown / Owner
Foundation Pre Pour Inspection	Ben Brown	Owner
RAS Inspection	Eddie Hare	Owner / General Contractor



1122 GROESBECK STREET, BRYAN TEXAS  
 JOB NUMBER: 24000528(01)  
 CLIENT: JAIME HERNANDEZ-ARANDA  
 DATE: 1/31/2024  
 FIELD CREW: GM  
 OFFICE: JL/BP  
 FB/PC: 24000528(01).GM.DXF

**LOT SIX (6), COULTER'S ADDITION TO THE CITY OF BRYAN, BRAZOS COUNTY, TEXAS**

TO JAIME HERNANDEZ-ARANDA EXCLUSIVELY, AND FOR USE WITH THIS TRANSACTION ONLY:  
 I HEREBY STATE TO THE BEST OF MY KNOWLEDGE THAT THIS PLAN IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND ON 01/27/2024 THAT ALL CORNERS ARE MONUMENTED AS SHOWN HEREON AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OR OVERLAPPING OF INTERESTS, EXCEPT AS SHOWN OR NOTED OTHERWISE.

BILLY A. PATTERSON, R.P.L.S. NO. 60297  
 FIRM NO. 10193726

**BRAZOS COUNTY, TEXAS**

**ATWELL**  
 19 BRIAR HOLLOW LN. #145, HOUSTON, TX 77079  
 (713) 468-6000

## EXISTING SURVEY WITH PROPOSED DEVELOPMENT

**CALL FOR UTILITY LOCATES:**  
 CITY OF BRYAN PUBLIC WORKS - 979-209-5900  
 TEXAS ONE CALL - DIAL 811  
 NOTE: TEXAS ONE CALL DOES NOT LOCATE BRYAN, TX UTILITIES

LAYOUT PAGE TABLE	
LABEL	TITLE
CS	COVER SHEET
SP	SITE PLAN & UTILITY PLAN
LP	UTILITY AND LANDSCAPE PLAN
ECP	EROSION CONTROL PLAN
PP	PAVING PLAN AND DETAILS
A1	FLOOR PLAN, DOOR SCHEDULE, WALL DETAILS
A2	RCP AND LIFE SAFETY PLAN
A3	FRONT AND REAR ELEVATIONS
A4	LEFT AND RIGHT ELEVATIONS
A5	SECTIONS & DETAILS AND NOTES
S1	FOUNDATION PLAN AND DETAILS
E1	ELECTRICAL PLAN
P1	PLUMBING PLAN

**DRAWINGS PROVIDED BY:**

THE **Ben Brown** GROUP

(979) 739-2002  
 3709 SWEETBRIAR DRIVE  
 BRYAN, TEXAS  
 77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**  
 COVER SHEET

**PROJECT DESCRIPTION:**  
 1122 GROESBECK DRIVE  
 BRYAN, TEXAS  
 LOTS 6  
 COULTER'S ADDITION  
 0.158 AC

**CLIENT INFORMATION:**  
 JAIME HERNANDEZ  
 HERNANDEZJAIME0384@GMAIL.COM  
 979-402-2062

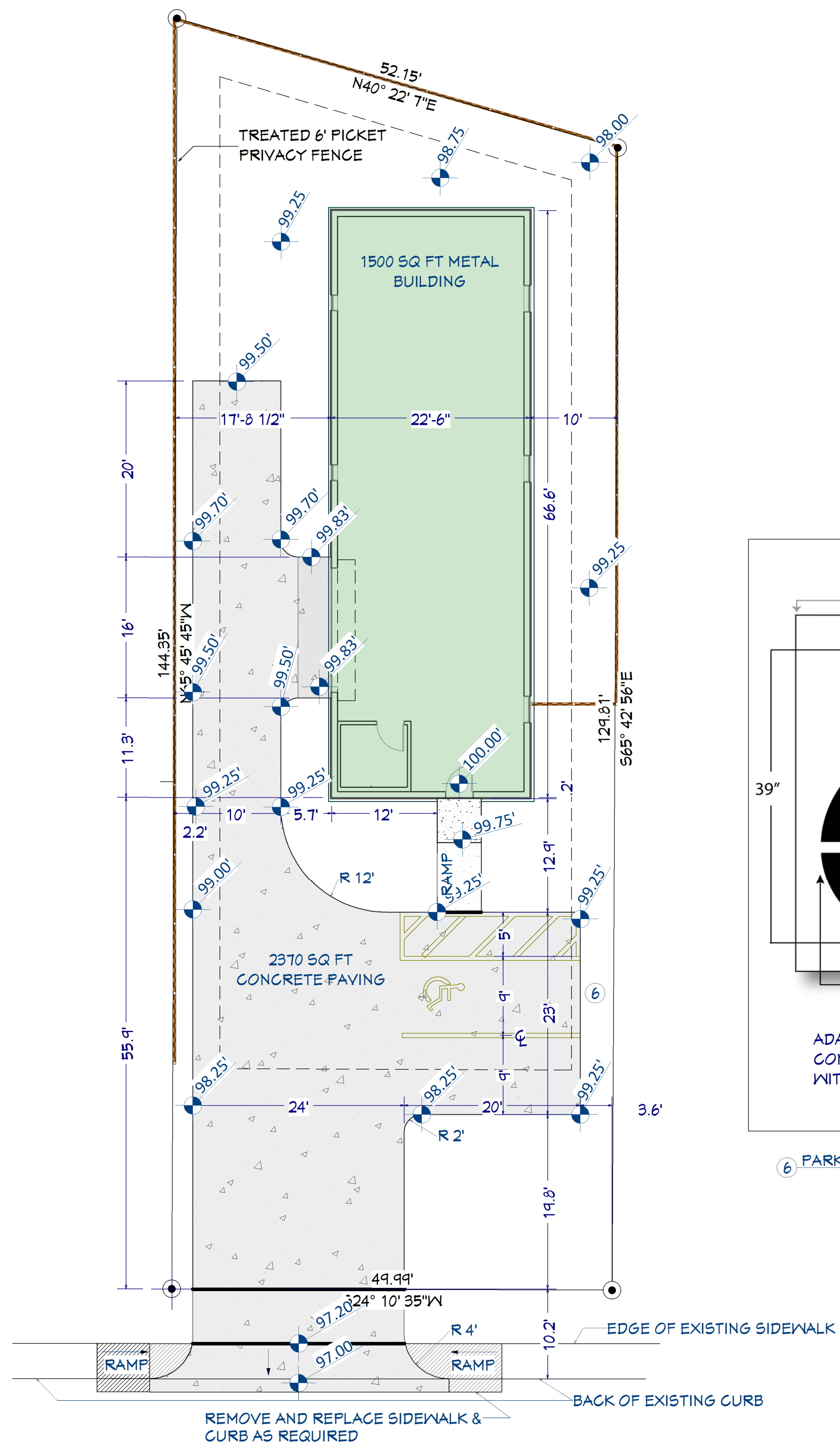
**SEAL**

**DATE:**  
 10/1/2024

**SCALE:**  
 FULL SCALE 24"X36"

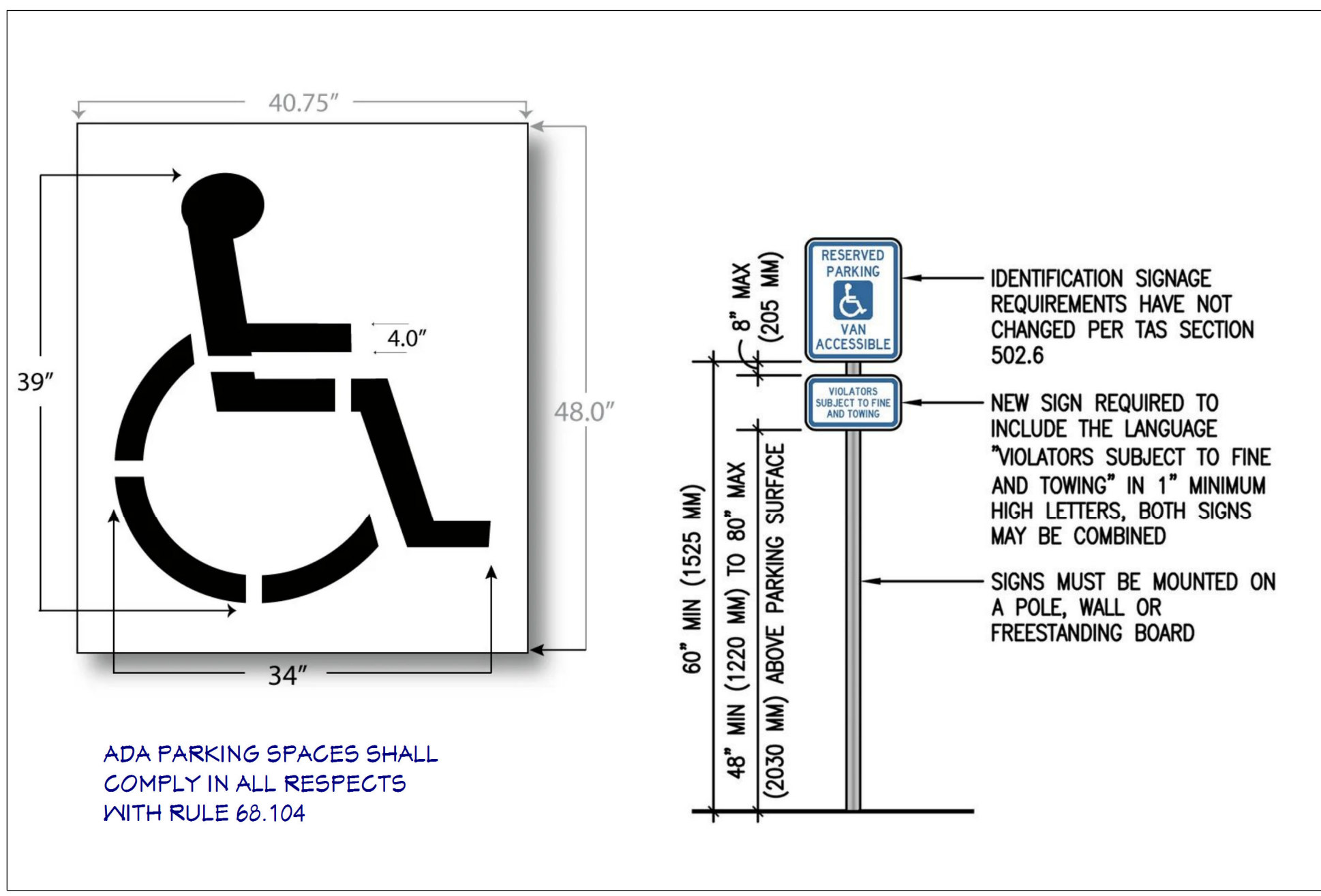
**SHEET:**  
 CS



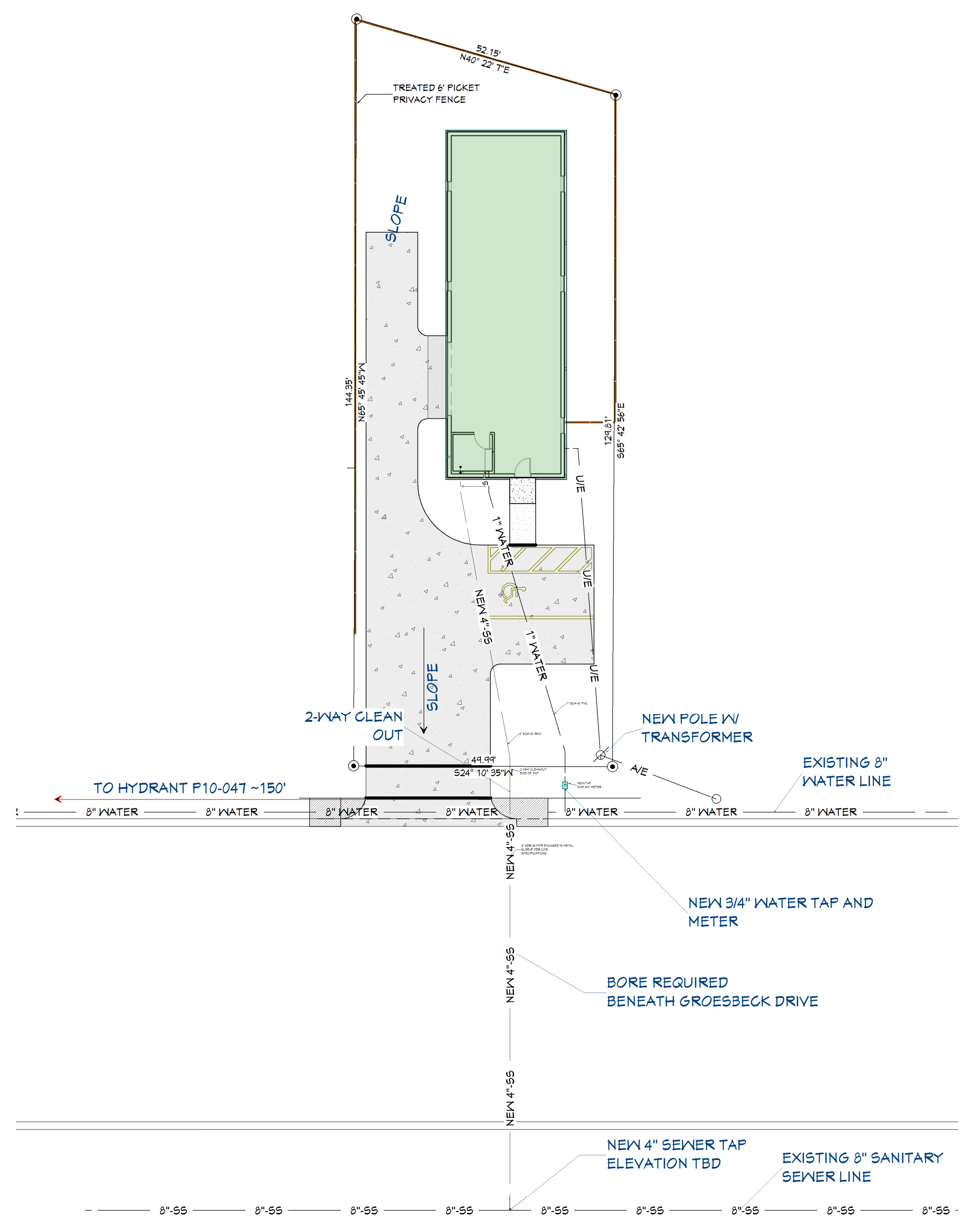


SP SITE PLAN  
1 in = 10 ft

**SITE PLAN / UTILITY PLAN NOTES:**  
 1) BUILDING FINISHED FLOOR SET 2.5' EXISTING BACK OF CURB MID DRIVEWAY LOCATION  
 2) HEAVY LINE ON PROPERTY BOUNDARY INDICATES PRIVACY FENCING  
 3) EXISTING UTILITY LINE LOCATIONS ARE APPROXIMATE



6 PARKING SIGNAGE DETAIL



UP UTILITY PLAN  
1/16 in = 1 ft

PARKING REQUIREMENTS		
BUILDING AREA (SQ FT):	1500 SQ FT	
	REQUIRED	PROVIDED
PARKING REQUIRED 1 PER 900 SQ FT	2	2
ADA / VAN REQUIRED 2%	1	1
STANDARD 9' X 20'		1

**CALL FOR UTILITY LOCATES:**  
 CITY OF BRYAN PUBLIC WORKS - 979-209-5900  
 TEXAS ONE CALL - DIAL 811  
 NOTE: TEXAS ONE CALL DOES NOT LOCATE BRYAN, TX UTILITIES  
 Note: Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities."

**DRAWINGS PROVIDED BY:**  
 THE *Ben Brown* GROUP  
 (979) 739-2002  
 3709 SWEETBRIAR DRIVE  
 BRYAN, TEXAS  
 77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**  
 SITE PLAN &  
 UTILITY PLAN

**PROJECT DESCRIPTION:**  
 1122  
 GROESBECK  
 DRIVE  
 BRYAN, TEXAS  
 LOTS 6  
 COULTER'S ADDITION  
 0.158AC

**CLIENT INFORMATION:**  
 JAIME  
 HERNANDEZ  
 HERNANDEZJAIME0384  
 @GMAIL.COM  
 979-402-2062

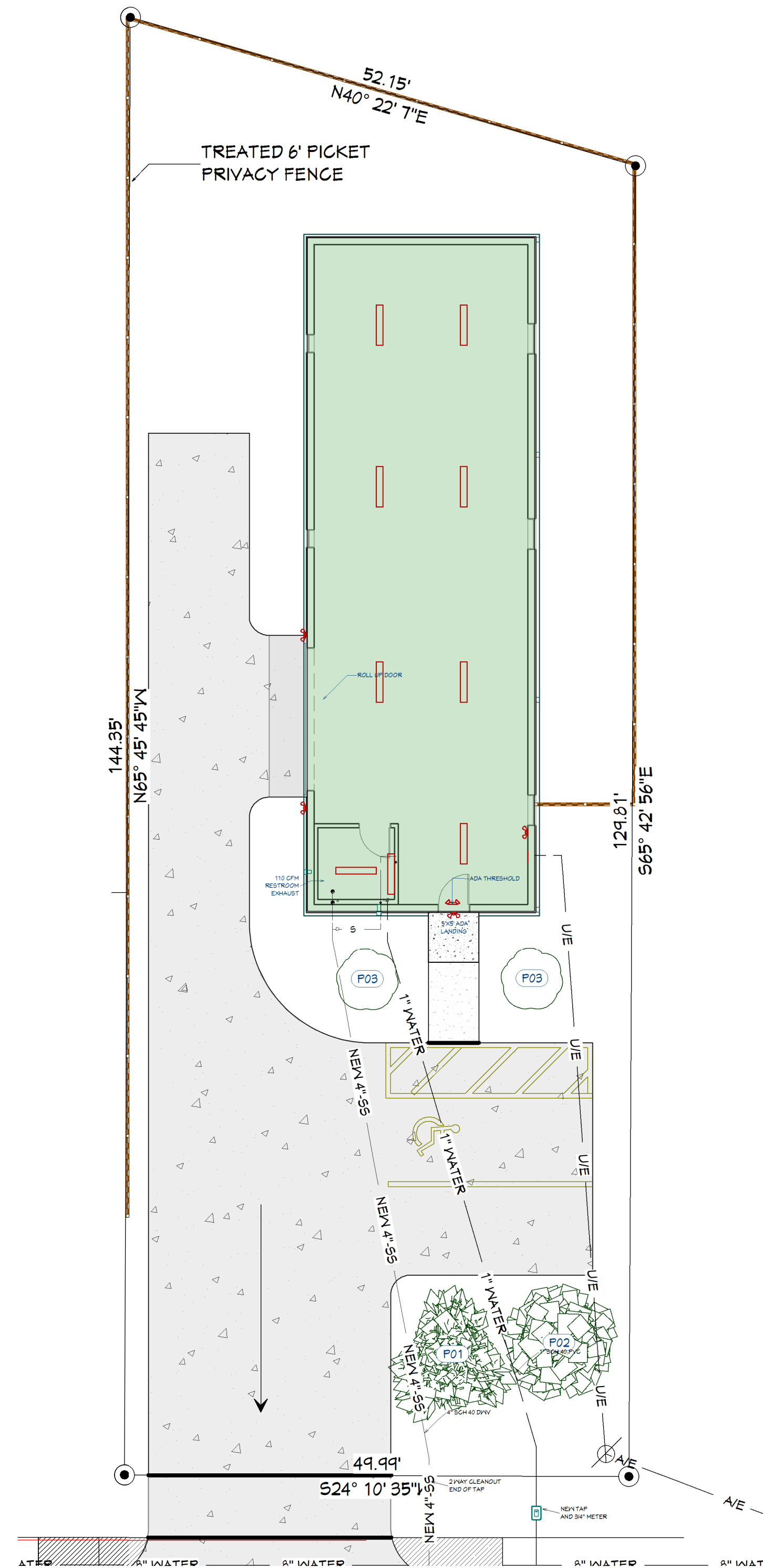
**SEAL**

**DATE:**  
 10/1/2024

**SCALE:**  
 FULL SCALE 24"X36"

**SHEET:**

**SP**



**LANDSCAPE PLAN**  
1 in = 10 ft

NUMBER	2D SYMBOL	SIZE	PLANT SCHEDULE		LANDSCAPE POINTS	DEDICATED USE	QTY	TOTAL
			COMMON NAMES	SCIENTIFIC NAME				
P01		1.5" TO 3" CALIPER	LACEBARK ELM	ULMUS FARVIFOLIA	1 ISLAND 200 GENERAL	END ISLAND	1	200
P02		1.5" TO 3" CALIPER	LIVE OAK	QUERCUS VIRGINIANA	1 ISLAND 200 GENERAL	END ISLAND	1	200
P03		> 1.5" CALIPER	CRAPE MYRTLE CREPE MYRTLE	LAGERSTROEMIA INDICA	100 FT	GENERAL LANDSCAPE	2	200
<b>GENERAL LANDSCAPE REQUIREMENTS</b>								
DEVELOPED AREA (SQ FT)						3784 SQ FT		
DEVELOPED AREA						REQUIRED	PROVIDED	
LANDSCAPE AREA REQUIRED AT 15% OF DEV. AREA						568 SQ FT		600
TREES SHADE AND ORNIMENTAL (50% OF AREA)						282 SQ FT		400
CANOPY TREES (50% OF REQUIRED TREES)						142 SQ FT		400
CANOPY TREES IN ISLANDS ( 1 PER ISLAND)							2	2

**NOTES:**  
 1) To ensure the growth of trees in end islands, a minimum 24-inch soil depth and 250 cubic feet of appropriate planting medium is required per tree, with topsoil mounded to a center height.  
 2) Replacement of dead landscaping shall occur within 90 days of notification. Replacement material must be of similar character as the dead landscaping. Failure to replace dead landscaping, as required by the zoning official or his or her designee, shall constitute a violation of this article subject to the general penalty provisions of City Code section 1-14.

**DRAWINGS PROVIDED BY:**



(979) 739-2002

3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**

**UTILITY AND  
LANDSCAPE  
PLAN**

**PROJECT DESCRIPTION:**

**1122  
GROESBECK  
DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC**

**CLIENT INFORMATION:**

**JAIME  
HERNANDEZ**  
HERNANDEZJAIME0384  
@GMAIL.COM  
979-402-2062

**SEAL**

**DATE:**

10/1/2024

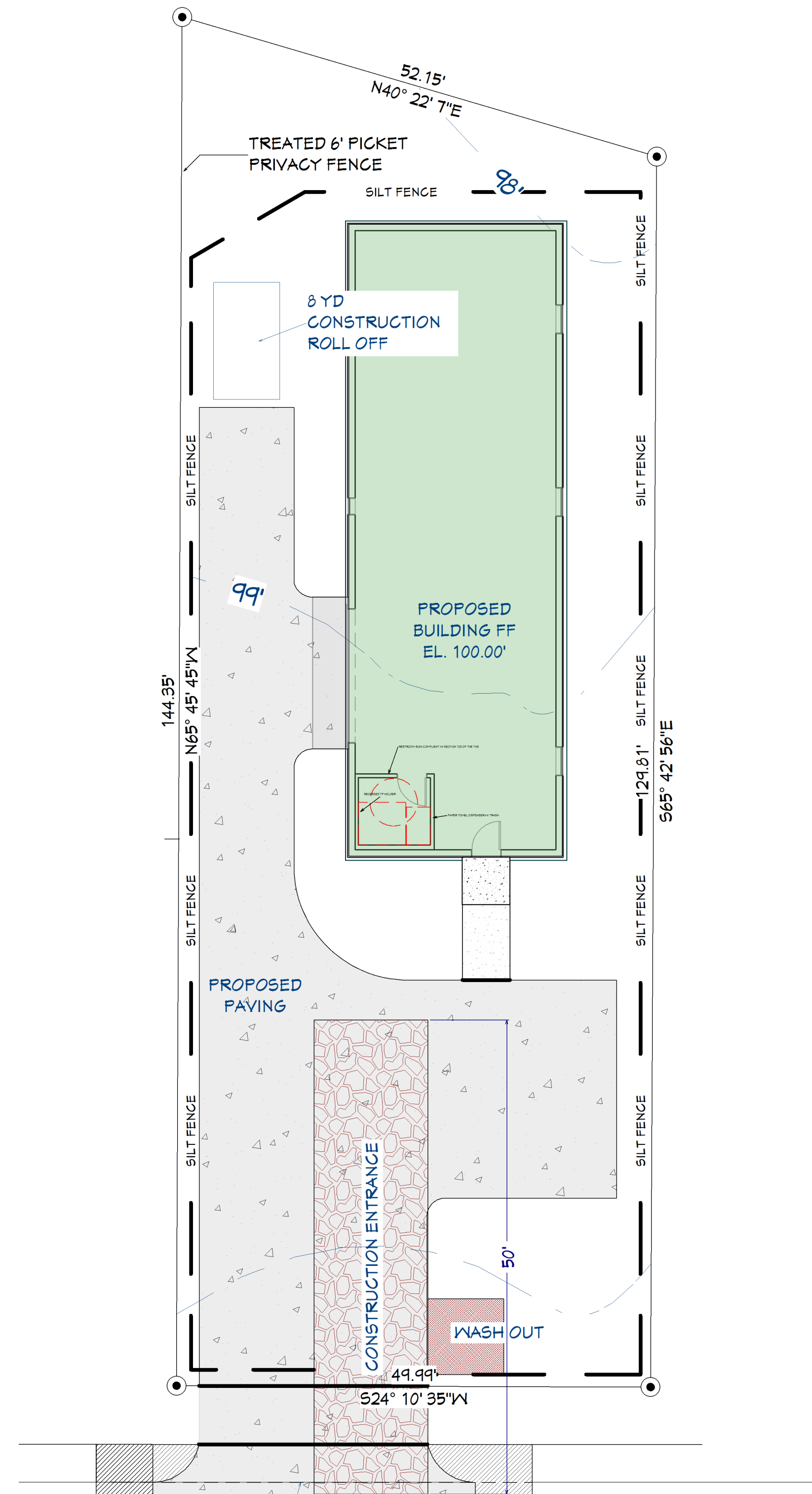
**SCALE:**

FULL SCALE 24"X36"

**SHEET:**

**LP**



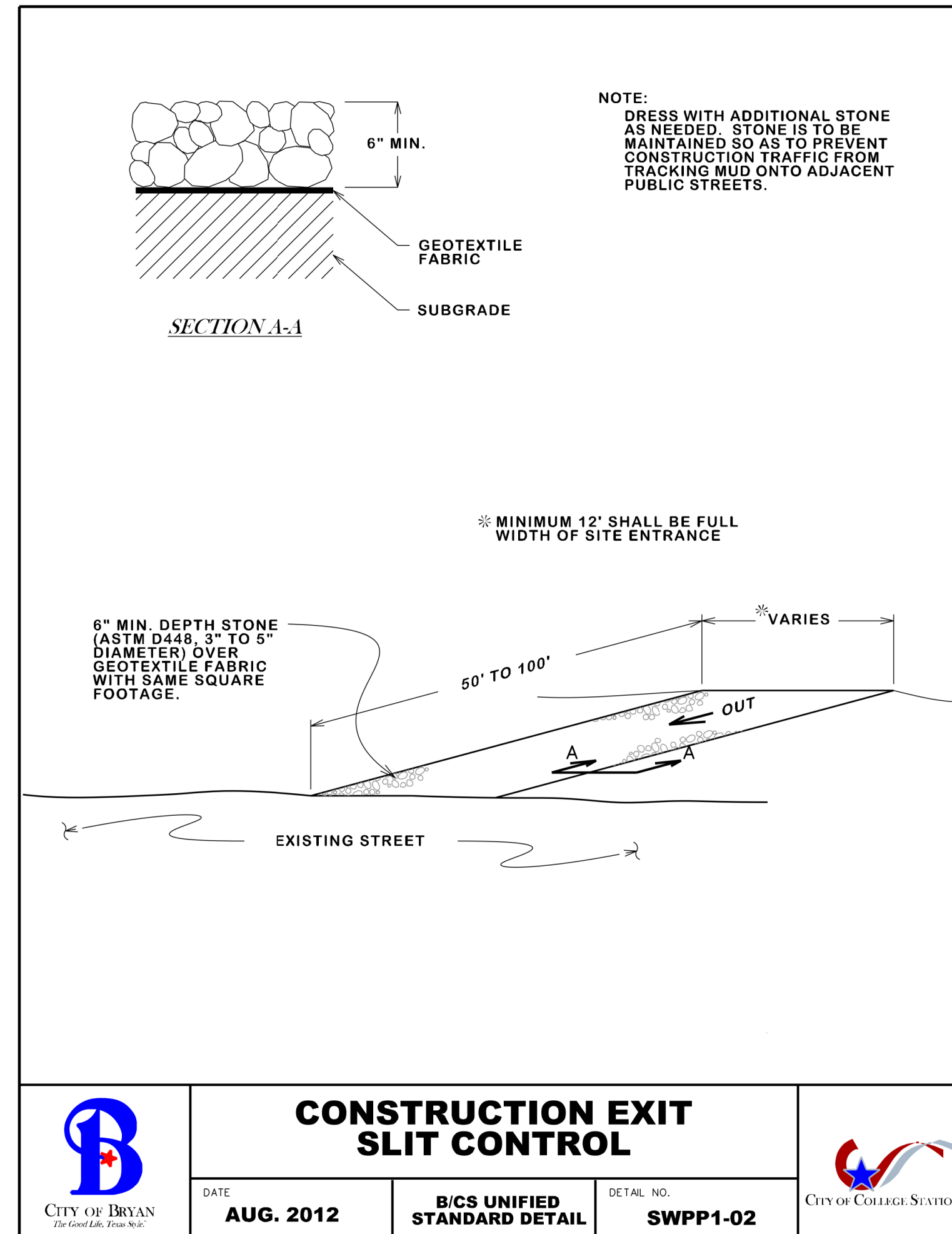


NOTE: EXISTING CONTOURS SHOWN THIS SHEET

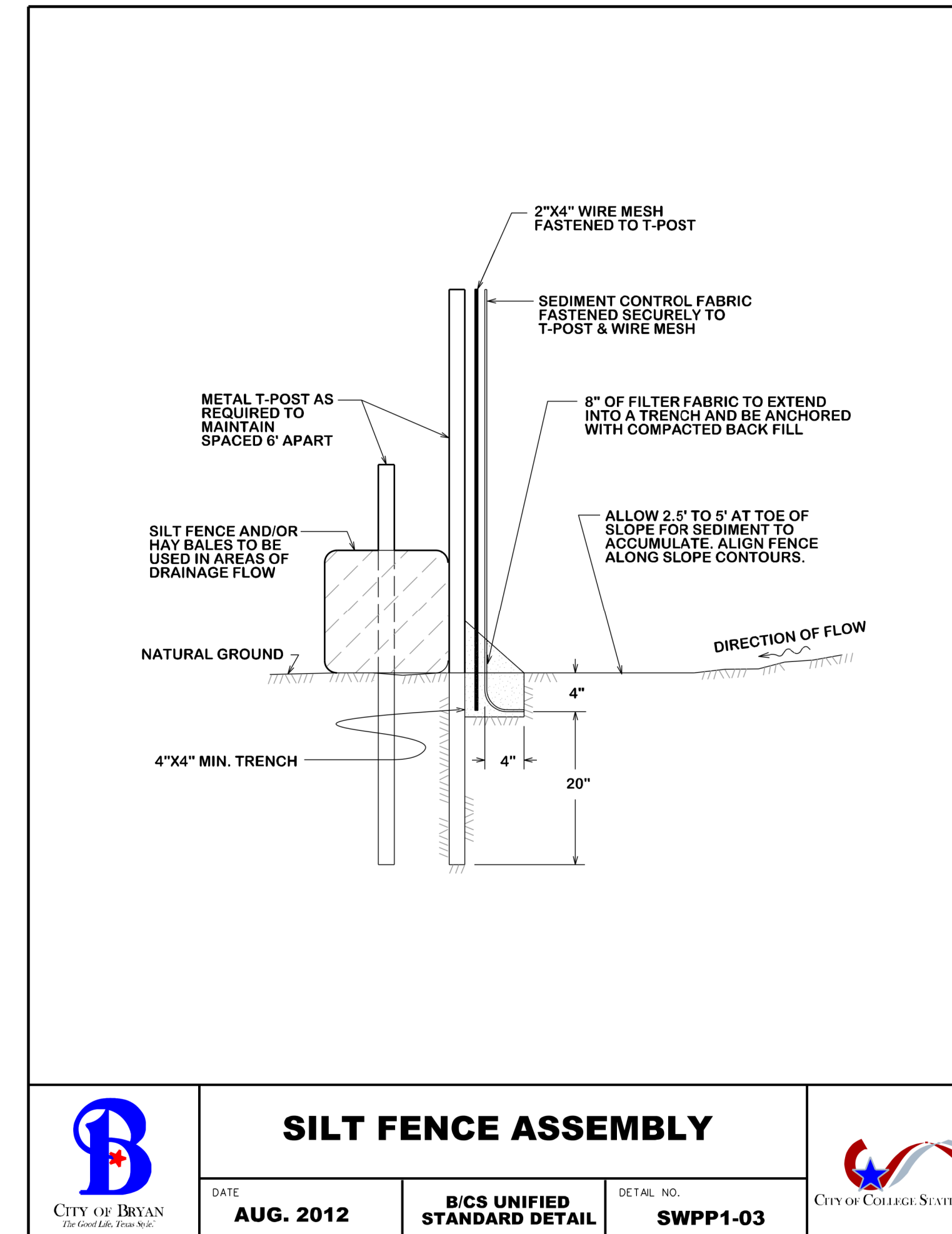
BENCHMARK EXISTING BOC 47.5'

1122 GROESBECK DRIVE

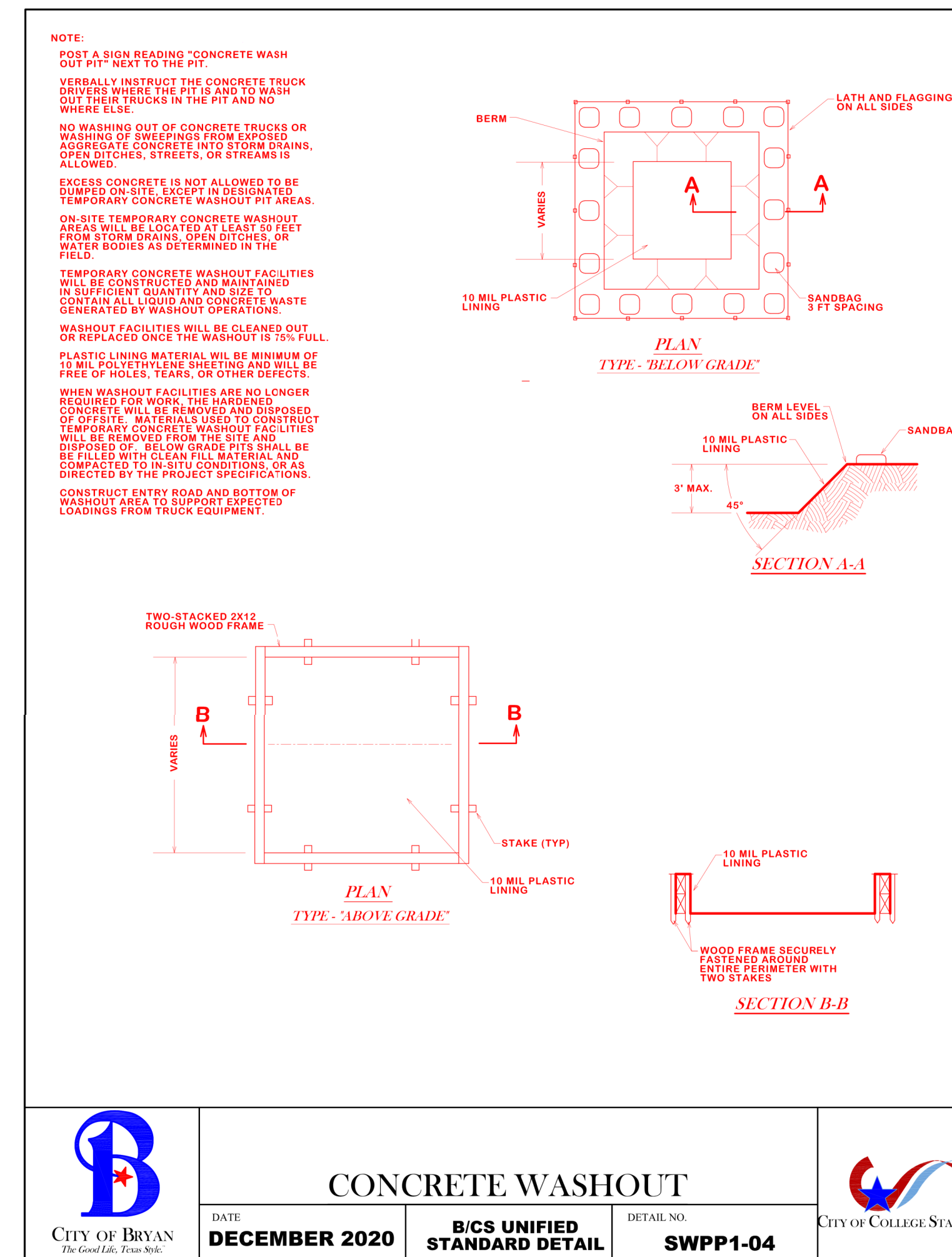
**EROSION CONTROL PLAN**  
1 in = 10 ft



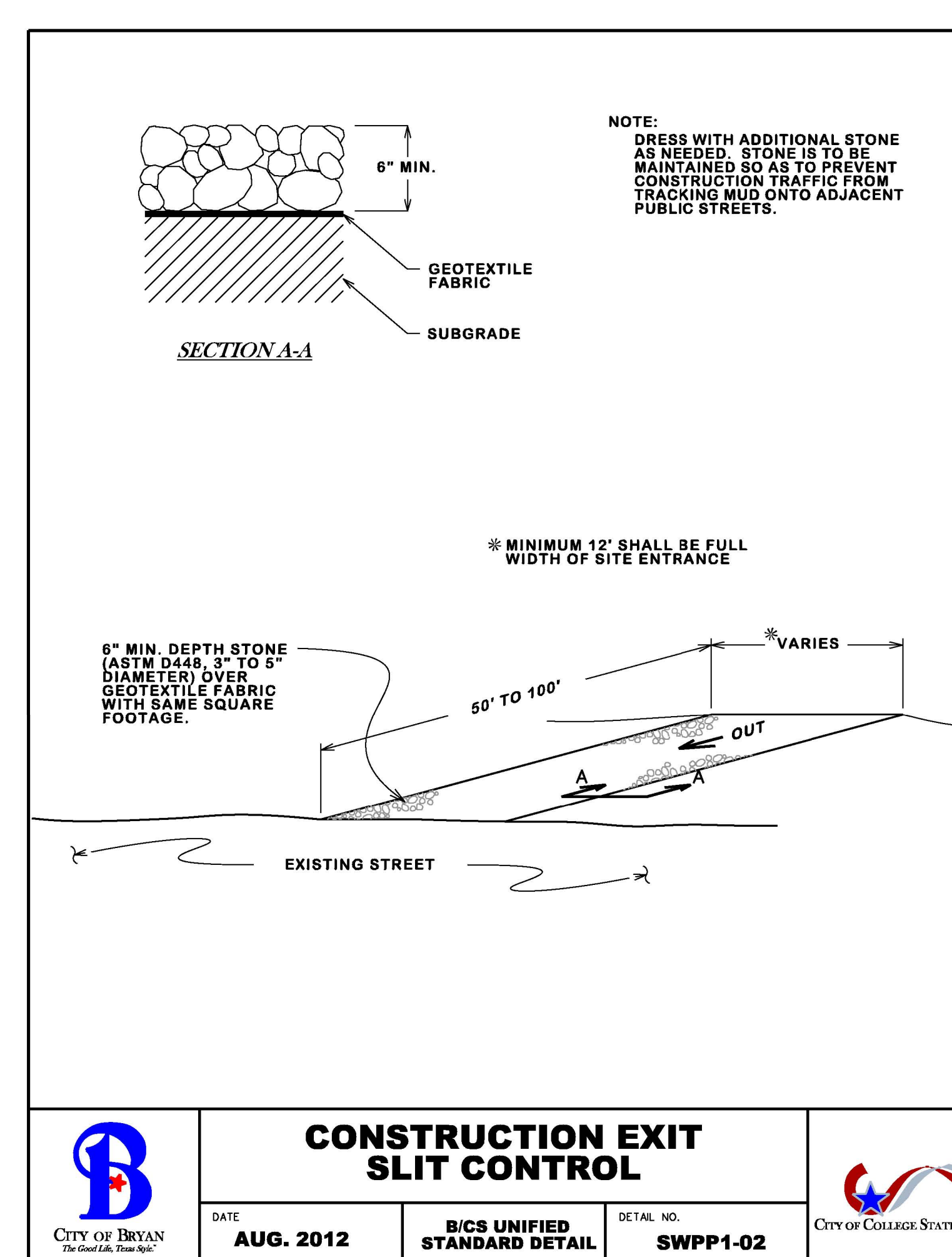
	<b>CONSTRUCTION EXIT SLIT CONTROL</b>			
	DATE <b>AUG. 2012</b>	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO. <b>SWPP1-02</b>	



	<b>SILT FENCE ASSEMBLY</b>			
	DATE <b>AUG. 2012</b>	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO. <b>SWPP1-03</b>	



	<b>CONCRETE WASHOUT</b>			
	DATE <b>DECEMBER 2020</b>	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO. <b>SWPP1-04</b>	



	<b>CONSTRUCTION EXIT SLIT CONTROL</b>			
	DATE <b>AUG. 2012</b>	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO. <b>SWPP1-02</b>	

DRAWINGS PROVIDED BY:

THE **Ben Brown** GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

IN CONJUNCTION WITH:

SHEET TITLE:

**EROSION CONTROL PLAN**

PROJECT DESCRIPTION:

1122 GROESBECK DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC

CLIENT INFORMATION:

**JAIME HERNANDEZ**  
HERNANDEZJAIME0384@GMAIL.COM  
979-402-2062

SEAL

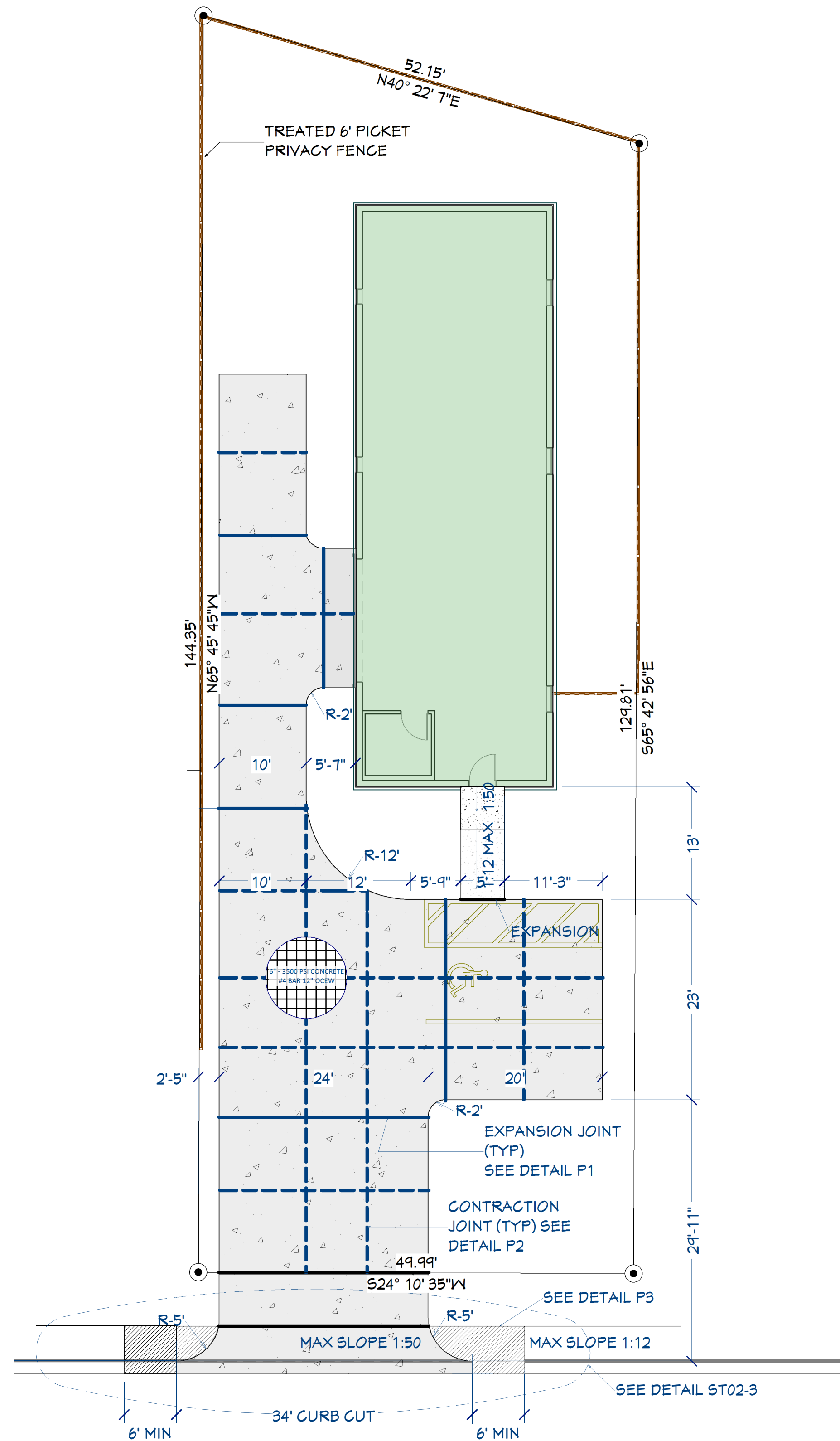
DATE:  
10/1/2024

SCALE:  
FULL SCALE 24"X36"

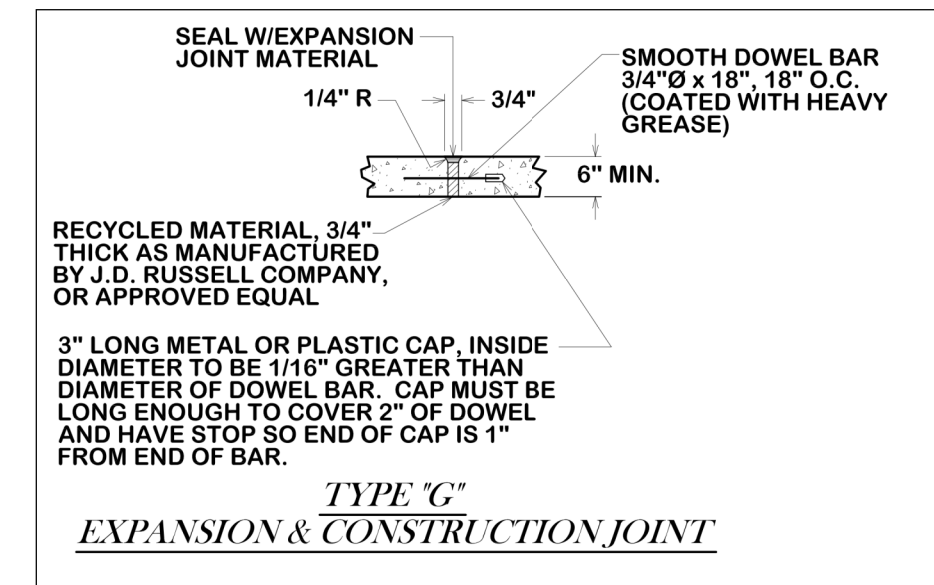
SHEET:

**ECP**

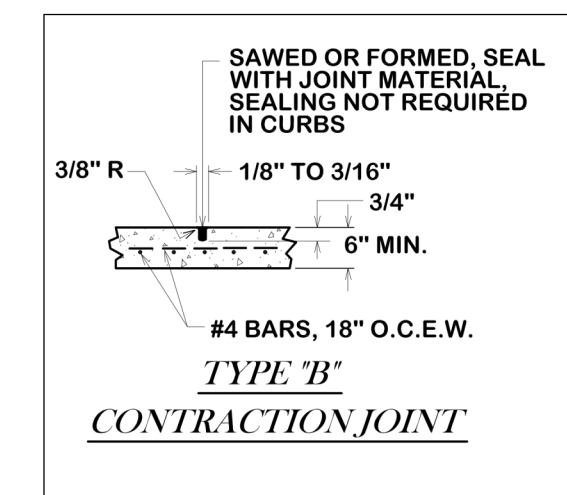




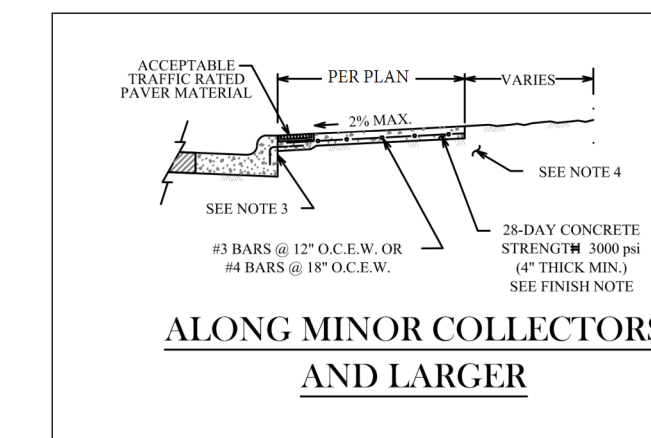
**PAVING PLAN**  
1 in = 10 ft



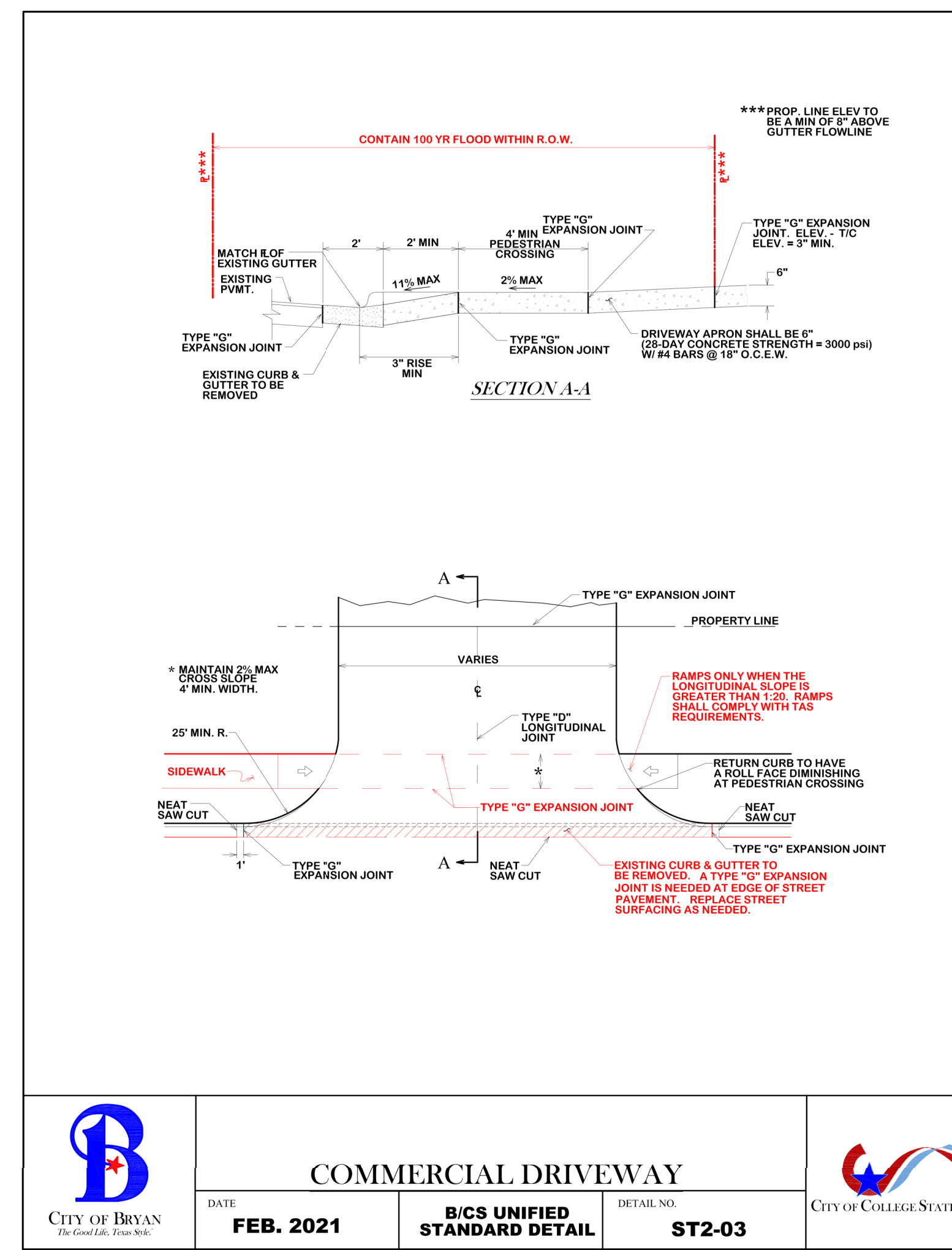
**DETAIL P1**



**DETAIL P2**



**DETAIL P3**



**COMMERCIAL DRIVEWAY**

DATE **FEB. 2021** B/C/S UNIFIED STANDARD DETAIL DETAIL NO. **ST2-03**



**DRAWINGS PROVIDED BY:**  
THE *Bee Brown* GROUP  
(979) 739-2002  
3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**  
**PAVING PLAN AND DETAILS**

**PROJECT DESCRIPTION:**  
**1122 GROESBECK DRIVE**  
**BRYAN, TEXAS**  
**LOTS 6**  
**COULTER'S ADDITION**  
**0.158AC**

**CLIENT INFORMATION:**  
**JAIME HERNANDEZ**  
HERNANDEZJAIME0384@GMAIL.COM  
979-402-2062

**SEAL**

**DATE:**  
10/1/2024  
**SCALE:**  
FULL SCALE 24"X36"  
**SHEET:**

**PP**







DRAWINGS PROVIDED BY:

THE *Ben Brown* GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

IN CONJUNCTION WITH:

SHEET TITLE:

RCP AND LIFE  
SAFETY PLAN

PROJECT DESCRIPTION:

1122  
GROESBECK  
DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC

CLIENT INFORMATION:

JAIME  
HERNANDEZ  
HERNANDEZJAIME0384  
@GMAIL.COM  
979-402-2062

SEAL

DATE:

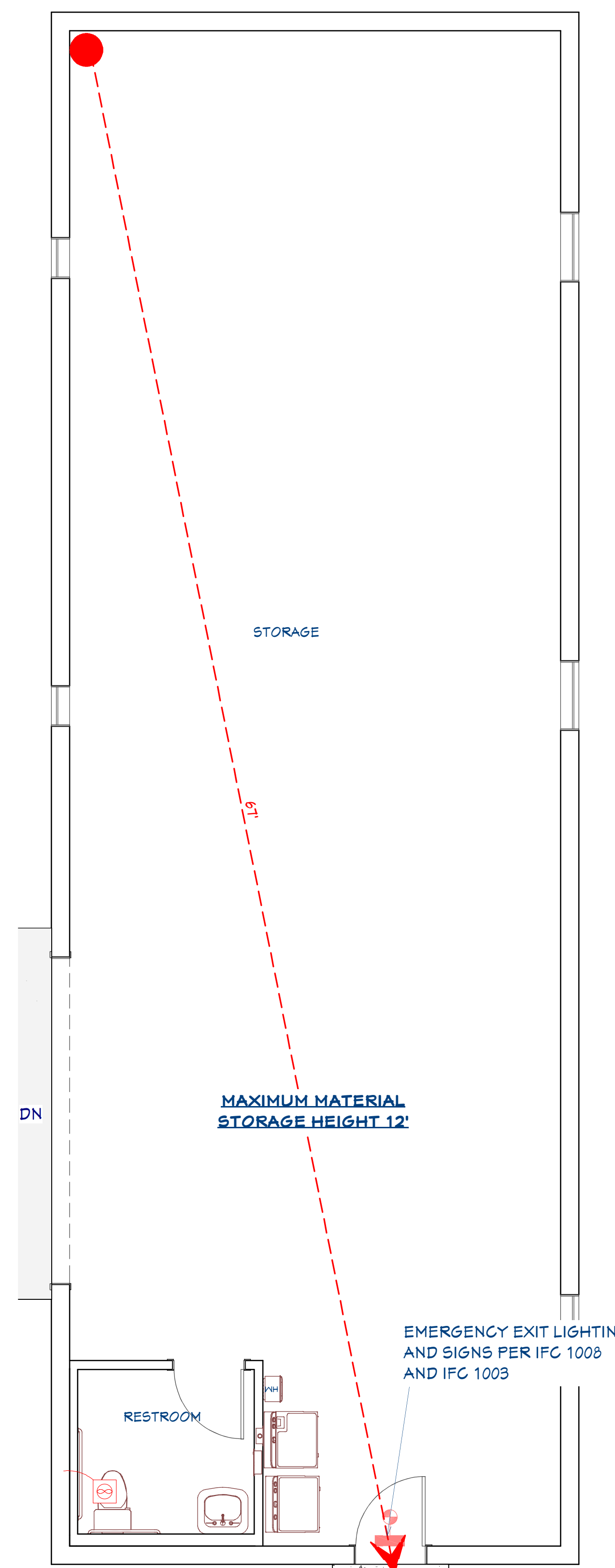
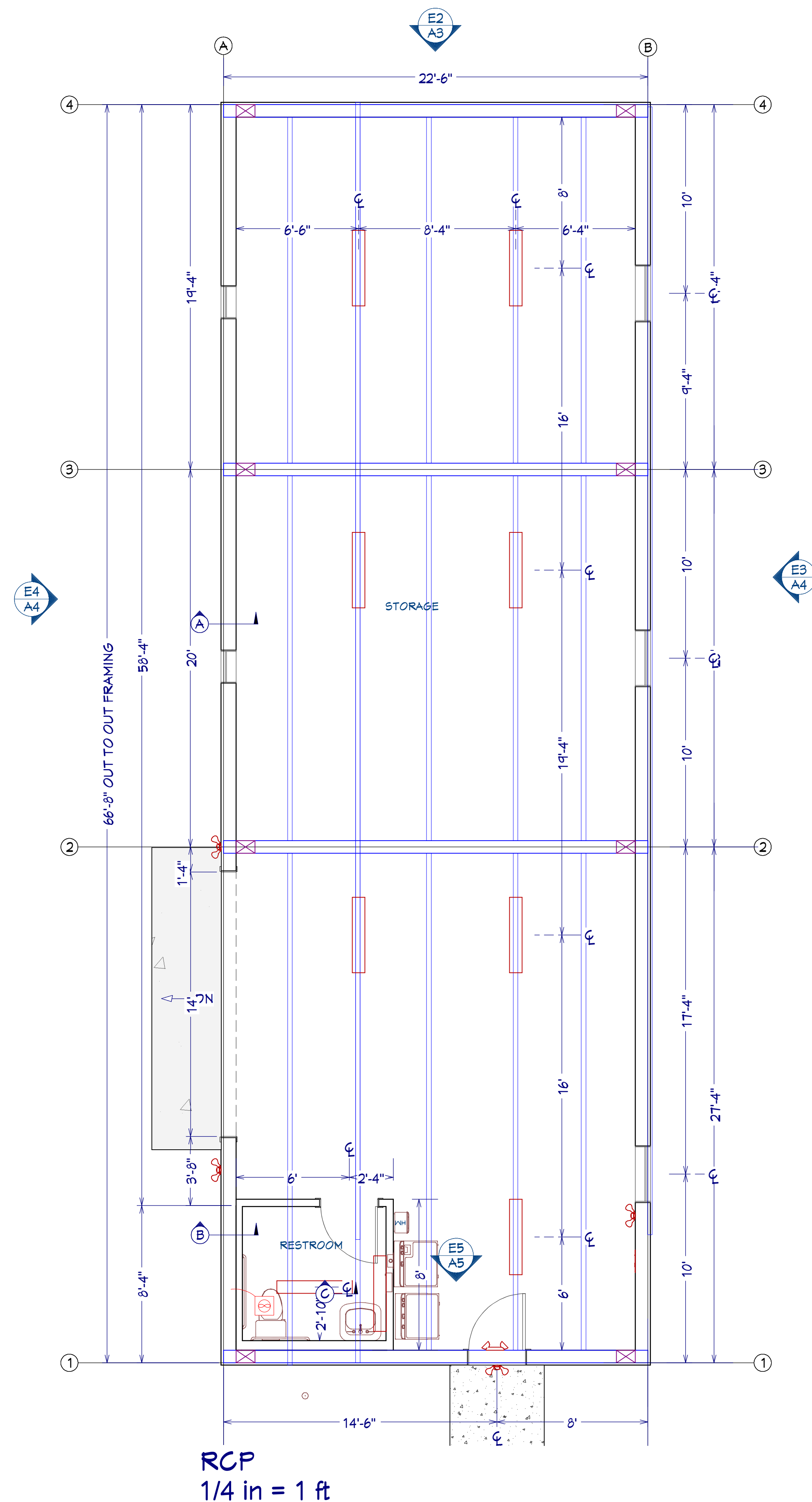
10/1/2024

SCALE:

FULL SCALE 24"X36"

SHEET:

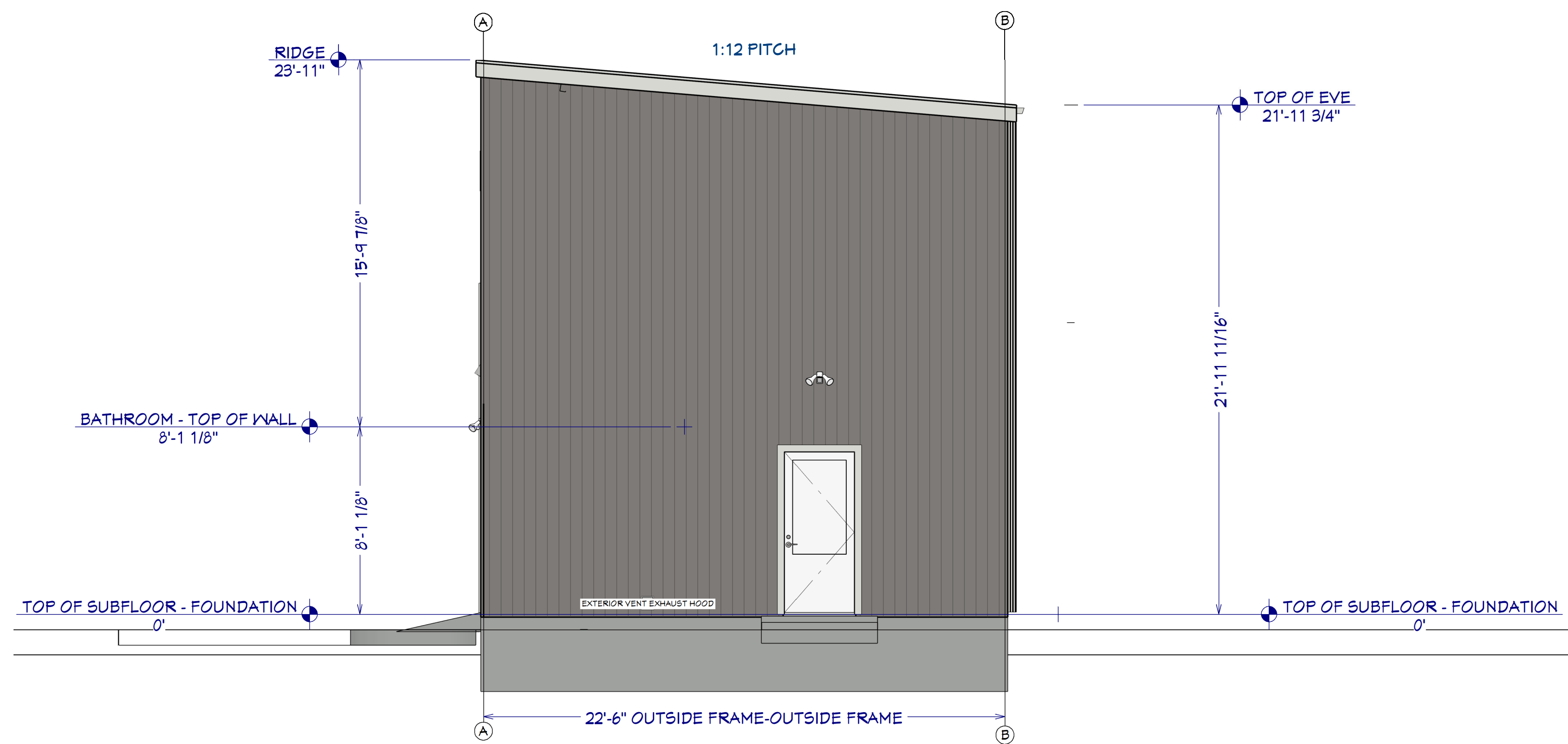
A2



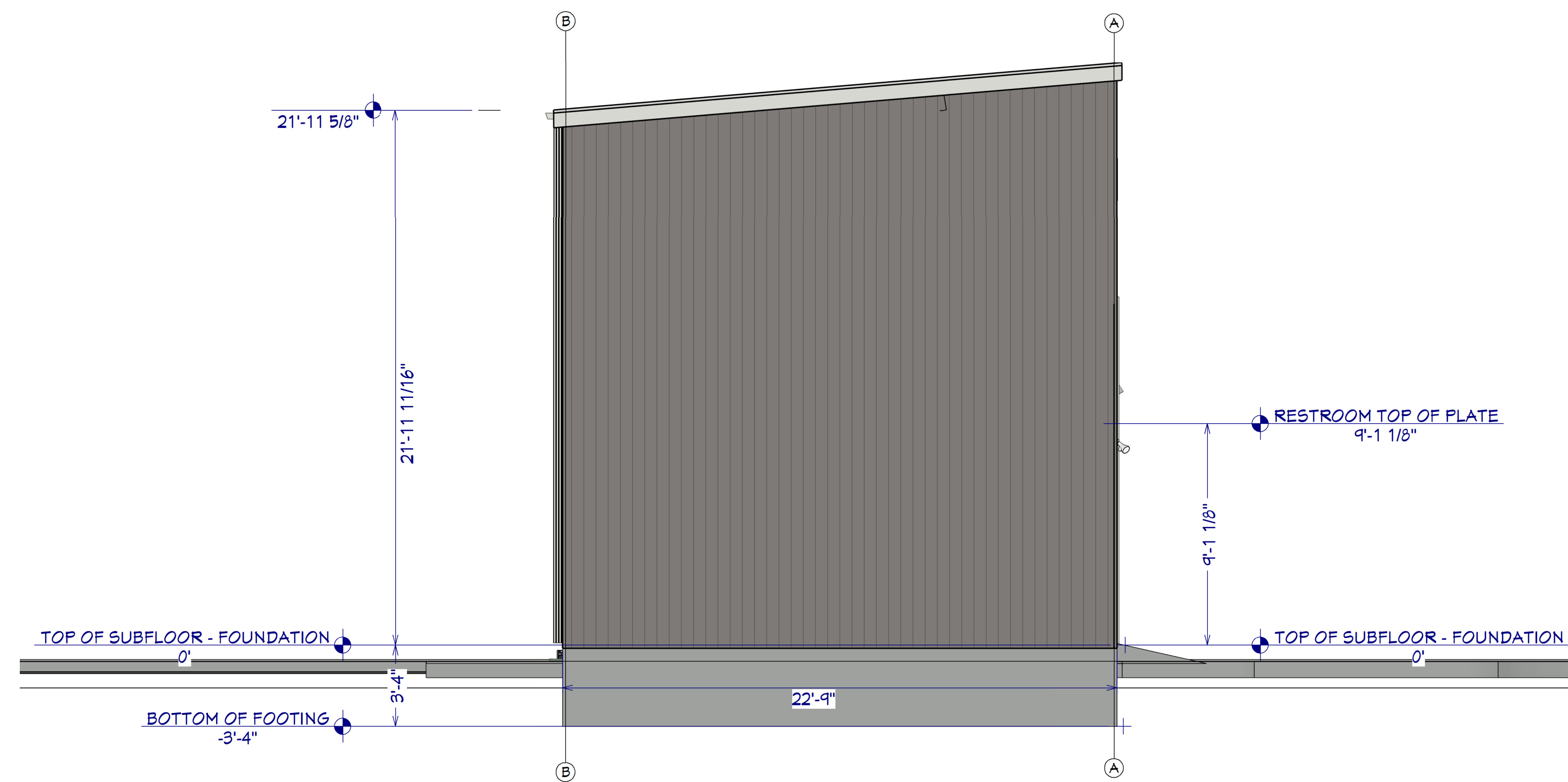
LIFE SAFETY PLAN  
1/4 in = 1 ft

OCCUPANCY AND EGRESS:  
1500 SQ FT X 1 PERSON PER 300 SQ FT = 5 PERSONS  
EXITS REQUIRED UNDER 30 PERSONS = 1 EXIT  
MAX TRAVEL DISTANCE ALLOWED = 100 FT  
MAX TRAVEL DISTANCE IN BUILDING = 61'





FRONT ELEVATION  
1/4 in = 1 ft



BACK ELEVATION  
1/4 in = 1 ft

DRAWINGS PROVIDED BY:

THE *Ben Brown* GROUP

(979) 739-2002  
3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

IN CONJUNCTION WITH:

SHEET TITLE:

FRONT AND  
REAR  
ELEVATIONS

PROJECT DESCRIPTION:

1122  
GROESBECK  
DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC

CLIENT INFORMATION:

JAIME  
HERNANDEZ  
HERNANDEZJAIME0384  
@GMAIL.COM  
979-402-2062

SEAL

DATE:

10/1/2024

SCALE:

FULL SCALE 24"X36"

SHEET:

**A3**



**DRAWINGS PROVIDED BY:**  
 THE *Ben Brown* GROUP  
 (979) 739-2002  
 3709 SWEETBRIAR DRIVE  
 BRYAN, TEXAS  
 77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**  
 LEFT AND  
 RIGHT  
 ELEVATIONS

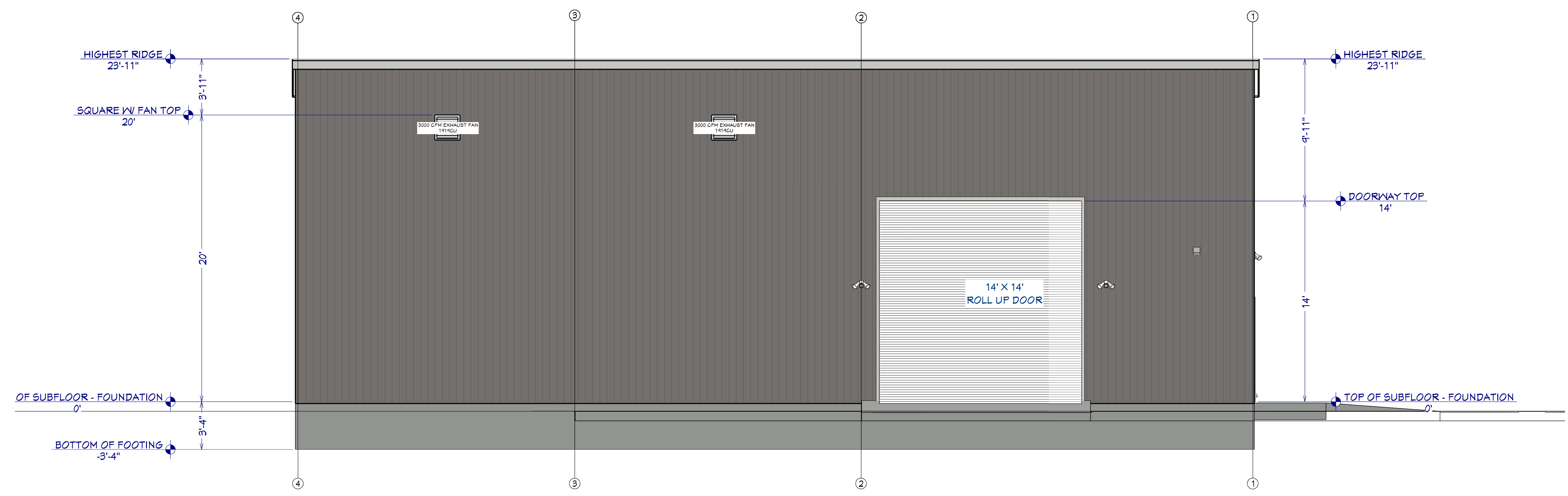
**PROJECT DESCRIPTION:**  
 1122  
 GROESBECK  
 DRIVE  
 BRYAN, TEXAS  
 LOTS 6  
 COULTER'S ADDITION  
 0.158AC

**CLIENT INFORMATION:**  
 JAIME  
 HERNANDEZ  
 HERNANDEZJAIME0384  
 @GMAIL.COM  
 979-402-2062

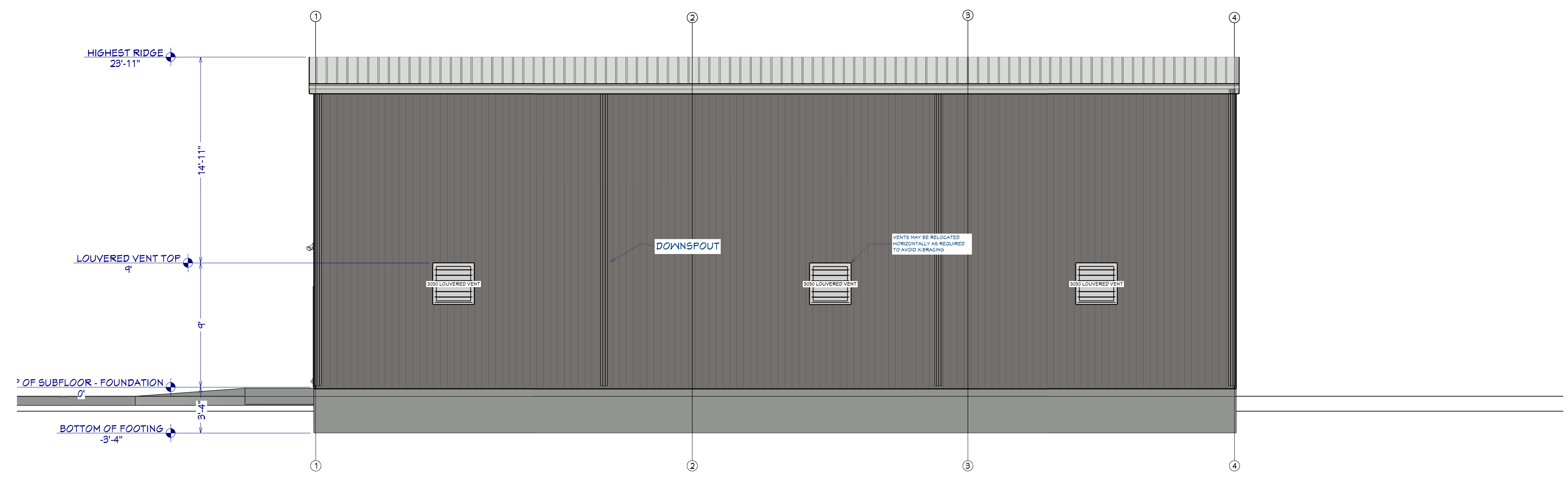
**SEAL**

**DATE:**  
 10/1/2024  
**SCALE:**  
 FULL SCALE 24"X36"  
**SHEET:**

**A4**

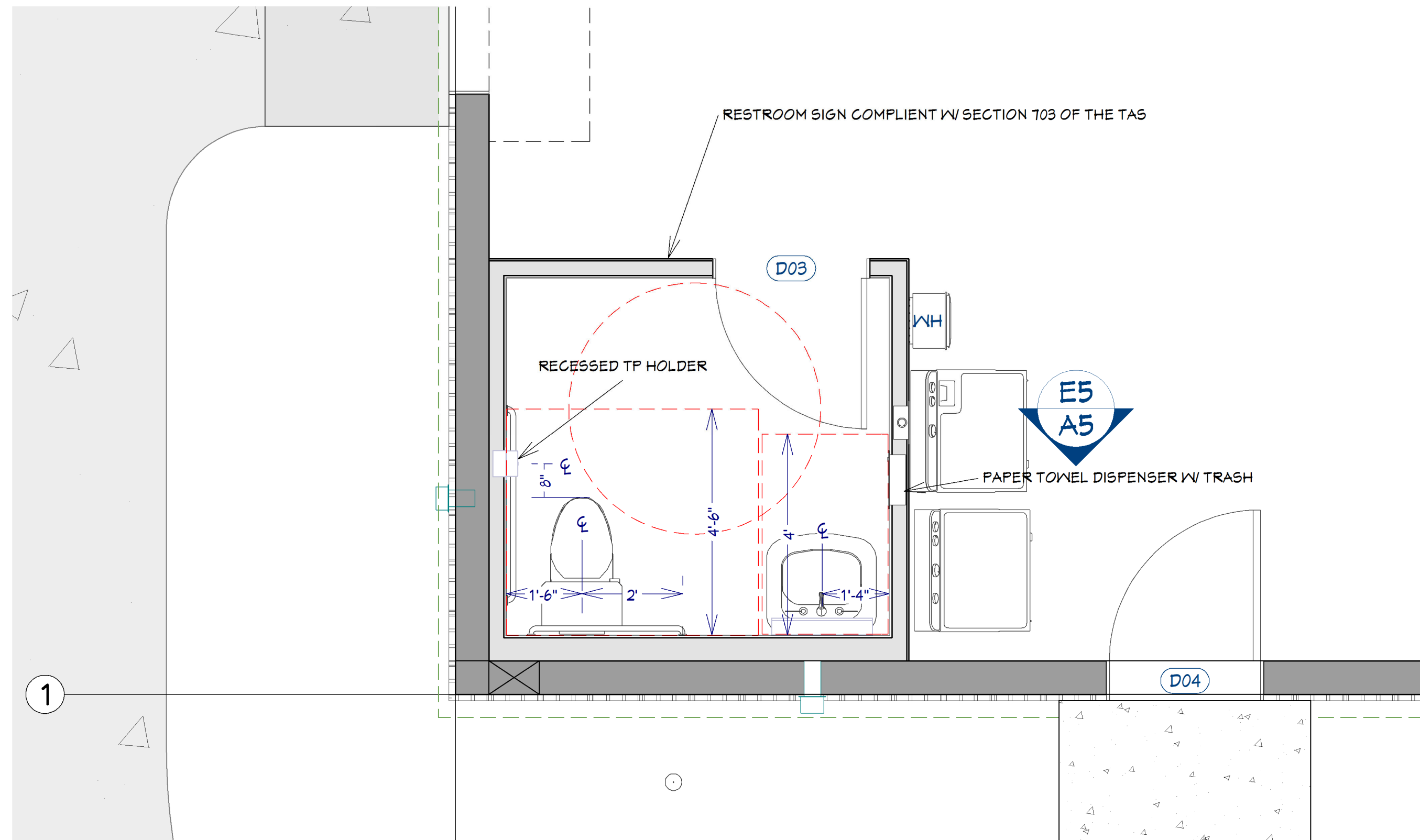


**LEFT ELEVATION**  
 1/4 in = 1 ft

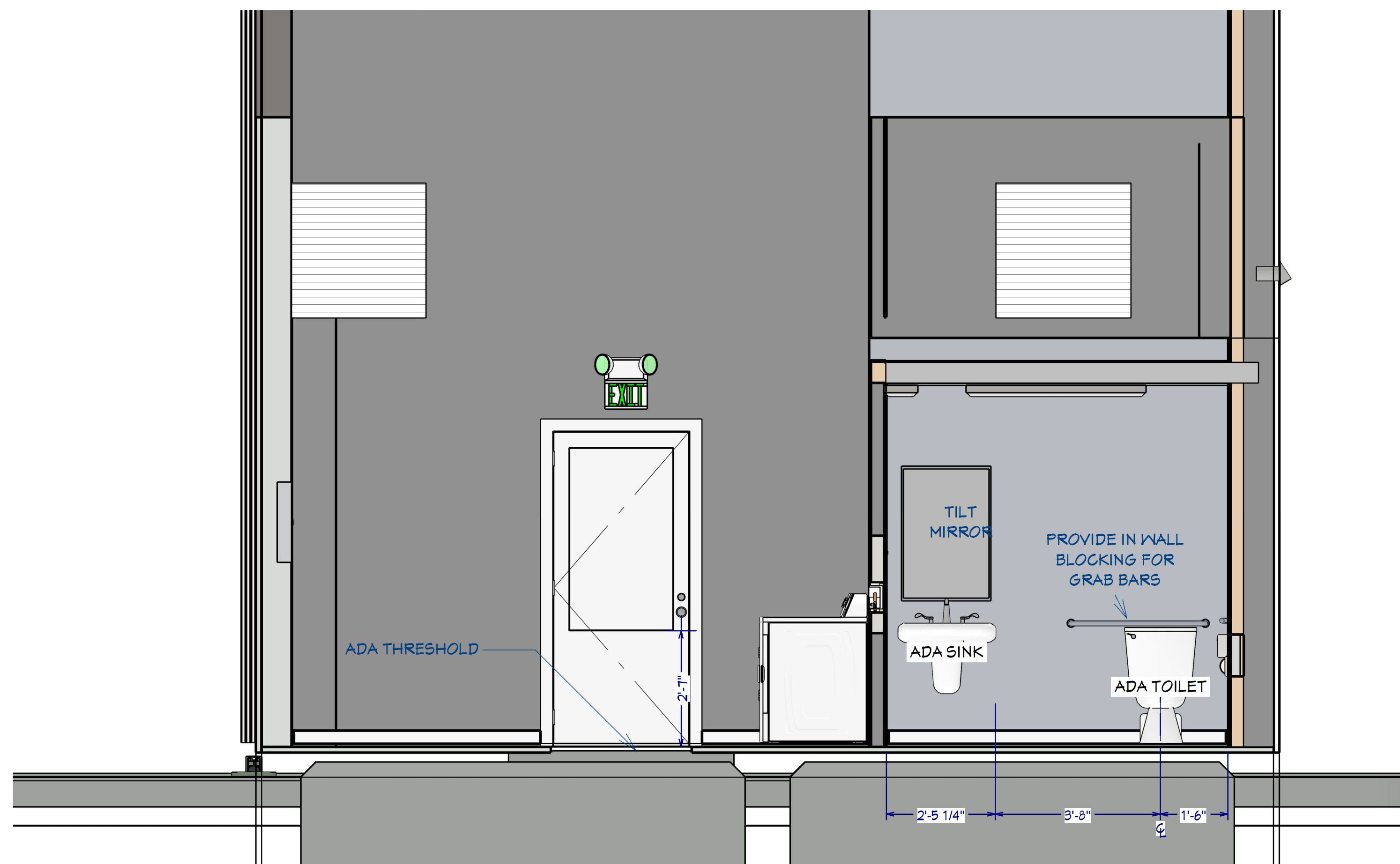


**RIGHT ELEVATION**  
 1/4 in = 1 ft





**RESTROOM DETAIL**  
1/2 in = 1 ft



**E5 RESTROOM SECTION**  
1/2 in = 1 ft

**GENERAL NOTES:**

**SECTION 1: GENERAL**

- 1.01 THESE PLANS ARE SPECIFICATIONS ARE INTENDED TO COMPLETE AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES. WHEREIN THESE PLANS AND SPECIFICATIONS CONFLICT OR DIFFER FROM THE MORE STRINGENT SHALL APPLY. CONFLICTS OR ERRORS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
- 1.02 ALL PLANS AND SPECIFICATIONS SHALL COMPLY WITH THE 2021 REVISION OF THE IBC AS APPROVED AND AMENDED BY CITY OF BRYAN.
- 1.03 ALL WORKMANSHIP SHALL BE DONE IN A PROFESSIONAL MANNER. WORK SHALL BE COMPLETED IN STRICT ADHERENCE TO OSHA STANDARDS. SAFETY GUIDELINES SUPPLIED BY TOOL AND MATERIAL VENDERS SHALL BE STRICTLY FOLLOWED. SAFETY GUARDS AND DEVICES SHALL NOT BE REMOVED OR TAMPERED WITH.
- 1.04 ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
- 1.05 THE WORK SITE SHALL BE KEPT CLEAN AND FREE OF ORGANIC WASTE, TRIP AND IMPALEMENT HAZARDS. WORKMAN SHALL REMOVE SCRAP TO DESIGNATED LOCATIONS DAILY.
- 1.06 ALL BUILDING OPERATION AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE OWNER WITHIN 90 DAYS OF THE COMPLETION OF THE BUILDING.
- 1.07 ANY CHANGES TO THE PLANS DURING CONSTRUCTION NEED TO BE APPROVED BY THE DESIGNER AND/OR ENGINEER OF RECORD AND THE CITY. THE CHANGES WILL NEED TO BE SUBMITTED AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

**SECTION 2: SITE PREPARATION AND GRADING**

- 2.01 ALL PLANT AND OTHER ORGANIC MATTER BENEATH AND +5' OF THE BUILDING FOOTPRINT SHALL BE STRIPPED PRIOR TO FOUNDATION WORK.
- 2.02 FILL SHALL BE SIFT FREE WITH A #10 SIEVE AND 8 IN. FILL SHALL BE COMPACTED TO A MINIMUM 95% PROCTOR DENSITY WITH A MOISTURE CONTENT OF OPTIMUM TO OPTIMUM PLUS 4%.
- 2.03 SITE SHALL BE GRADED ACCORDING TO THE GRADING PLAN. NON-PAVED AREAS SHALL SLOPE AWAY FROM THE BUILDING A MINIMUM OF 3" IN THE FIRST FIVE FEET.

**SECTION 3: CONCRETE AND FOUNDATION**

- 3.01 BATCH DESIGN SHALL BE APPROVED BY THE GENERAL CONTRACTOR AND ENGINEER OF RECORD FOR THE FOUNDATION PRIOR TO POUR.
- 3.02 ALL FOUNDATION PLAN DIMENSIONS SHALL BE VERIFIED WITH THE FLOOR PLAN.
- 3.03 BEAMS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL OR COMPACTED SELECT FILL.
- 3.04 BEAMS SHALL BE FREE OF DEBRIS AND STANDING WATER BEFORE CONCRETE IS POURED.
- 3.05 EXPOSED BEAM SURFACES SHALL BE RUBBED AND GROUTED TO REMOVE ALL HONEYCOMB.
- 3.06 CONCRETE FACES SHALL NOT DEVIATE MORE THAN 3/16" FROM THE PLAN.
- 3.07 ALL CORNERS, EDGES, AND PROTRUSIONS SHALL BE TOOLED.
- 3.08 FLOAT AND TROWEL, OR FLOAT AND BROOM FLOOR SURFACES.

**SECTION 4: FRAMING**

- 4.01 ALL INTERIOR WALL FRAMING SHALL BE CONSTRUCTED WITH COLD FORMED GALVANIZED STEEL. STUDS SHALL BE PUNCHED, 20 GAUGE MIN. WITH 1 5/8" FLANGE THICKNESS. MAXIMUM STUD SPACING SHALL BE 24".
- 4.02 SEE MUELLER BUILDING SPECIFICATIONS FOR STRUCTURAL FRAMING SPECIFICATIONS.
- 4.03 SHEER WALL BRACING SHALL COMPLY WITH SECTION 1609 OF THE IBC.
- 4.04 HORIZONTAL MEMBERS SHALL BE DESIGNED TO HAVE A MAXIMUM FLEXURE OF L/360.
- 4.05 PROVIDE HORIZONTAL BLOCKING TOP AND BOTTOM OF WALL HUNG CABINETS AND NOTED FIXTURE LOCATIONS.

**SECTION 5: FIRE PROTECTION**

- 5.01 ALL OCCUPIED ROOMS SHALL HAVE UL LISTED SMOKE AND CO2 ALARM SYSTEM. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND NFPA RECOMMENDATIONS.
- 5.02 PROVIDED FIRE EXTINGUISHERS, FIRE EXTINGUISHER LOCATIONS SHALL BE DETERMINED BY THE FIRE MARSHALL.

**SECTION 8: ROOFING**

- 8.01 METAL ROOF SHALL HAVE A SRI OF 78 OR HIGHER.
- 8.02 THE ROOFING SYSTEM SHALL BE INSTALLED STRICTLY PER MANUFACTURERS INSTRUCTION.
- 8.03 THE ROOFING CONTRACTOR SHALL CONFORM TO THE MOST RECENT OSHA GUIDELINES FOR FALL AND DROP PROTECTION.
- 8.04 ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FLASHING AROUND ROOF PENETRATIONS.
- 8.05 ROOFING CONTRACTOR SHALL PROVIDE ALL COPING AND FLASHING.

**SECTION 9: DOORS, WINDOWS AND GLAZING**

- 9.01 PROVIDE WEATHERSEAL AND A DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- 9.06 WINDOW GLASS SHALL BE TEMPERED.
- 9.07 WINDOW AND DOORS ARE DIMENSIONED TO CENTER OF OPENING U.N.O.

**SECTION 11: MECHANICAL, ELECTRICAL AND PLUMBING (MEP)**

- 11.01 ARCHITECTURAL PLANS ARE FOR FIXTURE LOCATION ONLY REFER TO MEP ENGINEERING PLANS FOR HVAC, ELECTRICAL, AND PLUMBING PLANS AND SPECIFICATIONS.
- 11.02 MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATION SHALL BE COMPLETED BY PROFESSIONALS SO LICENSED BY THE STATE OF TEXAS AND APPROVED BY THE CITY OF BRYAN.
- 11.03 FIXTURES AND EQUIPMENT SPECIFIED IN THESE PLANS MAY ONLY BE SUBSTITUTED WITH THE WRITTEN CONSENT OF THE OWNER.
- 11.04 "PEX" WATER SUPPLY PLUMBING SHALL BE ACCEPTABLE.
- 11.05 INTAKE AND EXHAUST VENTS SHALL BE EQUIPPED WITH GRAVITY DAMPERS.
- 11.06 RESTROOM FANS SHALL BE INSTALLED BY THE ELECTRICIAN AND VENTED BY THE HVAC CONTRACTOR.
- 11.07 ELECTRICIAN SHALL VERIFY MECHANICAL EQUIPMENT MAOP.
- 11.08 OUTLET RATINGS AND LOCATIONS FOR APPLIANCES SHALL BE VERIFIED WITH THE MANUFACTURERS SPECIFICATIONS.

**SECTION 12: GUTTERS AND FLASHING**

- 12.01 ROOF FLASHING AND EXPOSED WALL FLASHING SHALL BE MIN. 0.013" GALVANIZED STEEL OR 0.019" ANODIZED ALUMINUM.
- 12.02 ZINC, LEAD AND VINYL FLASHING SHALL BE PROHIBITED.
- 12.03 SEAMLESS GUTTERS AND DOWNSPOUTS SHALL BE MIN 0.032" ALUMINUM. GUTTERS SHALL BE 4"x4" OG SHAPED INSTALLED WITH SCREWS. MAXIMUM ATTACHMENTS SPACING SHALL BE 4".
- 12.04 DOWNSPOUTS SHALL BE 3"x4" MINIMUM. STRAPS SHALL BE ATTACHED WITH SCREWS. MAXIMUM STRAP SPACING SHALL BE 10".
- 12.05 GUTTER JOINTS SHALL BE SEALED WITH A UV RESISTANT RUBBERIZED SEALANT WITH A MINIMUM 20 YEAR DESIGN LIFE.

**SECTION 13: DRYWALL**

- 13.01 T&F FINISH: ALL DRYWALL SHALL BE TAPED, BEDDED, FLOATED TWICE, AND TEXTURED TO SUIT THE OWNER.
- 13.02 METAL CORNERS SHALL BE APPLIED TO ALL NON-BULLNOSED OUTSIDE CORNERS INCLUDING NON-TRIMMED WINDOW EDGING.

**SECTION 14: PAINT**

- 14.01 INTERIOR WALLS: INTERIOR WALLS SHALL BE PRIMED WITH PVA PRIMER AND ONE COAT OF HIGH QUALITY FACTORY MIXED FLAT LATEX PAINT. FINISHED WALLS SHALL BE HOLIDAY FREE, WITH A CONSISTENT FINISH.
- 14.02 INTERIOR TRIM AND DOORS (PAINTED): INTERIOR TRIM SHALL BE PRIMED WITH TWO COATS OF HIGH QUALITY ENAMEL PRIMER, AND ONE COAT OF HIGH QUALITY SEMI-GLOSS ENAMEL PAINT.
- 14.03 INTERIOR TRIM (HANDRAILS AND CLOSET RODS): HANDRAILS AND CLOSET RODS SHALL BE STAINED TO MATCH CABINETRY, AND FINISHED WITH TWO COATS OF CLEAR POLYURETHANE SEALER.
- 14.04 INTERIOR CEILINGS: INTERIOR CEILINGS (NOT INCLUDING DROP CEILING) SHALL BE PRIMED WITH PVA PRIMER AND PAINTED TO MATCH THE INTERIOR WALLS.
- 14.05 CABINETRY PAINT: ALL CABINETRY SHALL BE FACTORY FINISHED.
- 14.06 EXPOSED PAINTED STEEL: STEEL SHALL BE PRIMED WITH ONE COAT OF DTR HIGH-ZINC PRIMER AND TOPPED WITH TWO COATS OF HIGH GLOSS, INDUSTRIAL ACRYLIC COATING.
- 14.07 POWDER COATING: RAILINGS AND FENCING MAY BE FACTORY POWDER-COAT PREFINISHED.

**ADA RESTROOM REQUIREMENTS**

- 603 Toilet and Bathing Rooms
- 603.2 Clearances: Clearances shall comply with 603.2.
- 603.2.1 Turning Space: Turning space complying with 304 shall be provided within the room.
- 603.2.2 Overlap: Required clear floor spaces, clearance at fixtures, and turning space shall be permitted to overlap.
- 603.2.3 Door Swing: Doors shall not swing into the clear floor space or clearance required for any fixture. Doors shall be permitted to swing into the required turning space.
- 603.3 Mirrors: Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40 inches (1015 mm) maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 39 inches (990 mm) maximum above the finish floor or ground.
- 603.4 Coat Hooks and Shelves: Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 49 inches (1250 mm) maximum above the finish floor.

- 604 Water Closets and Toilet Compartments
- 604.2 Location: The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum to 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 11 inches (280 mm) minimum and 14 inches (355 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.3.2. Water closets shall be arranged for a left-hand or right-hand approach.

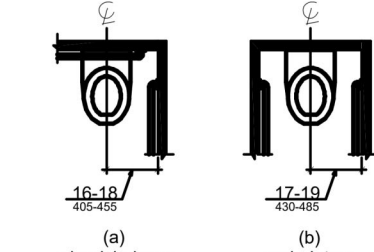


Figure 604.2 Water Closet Location

- 604.3.1 Size: Clearance around a water closet shall be 60 inches (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear wall.

- 604.3.1 Size: Clearance around a water closet shall be 60 inches (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear wall.

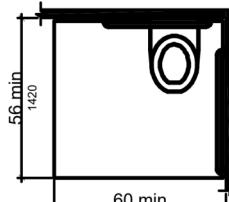


Figure 604.3.1 Size of Clearance at Water Closets

- 604.3.2 Overlap: The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearance required at other fixtures, and the turning space. No other fixtures or obstructions shall be located within the required water closet clearance.

- 604.4 Seats: The seat height of a water closet above the finish floor shall be 17 inches (430 mm) minimum and 18 inches (455 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a tilted position.

- 604.5 Grab Bars: Grab bars for water closets shall comply with 604.1 Grab bars shall be provided on the side wall closest to the water closet and on the rear wall.

- 604.5.1 Side Wall: The side wall grab bar shall be 42 inches (1065 mm) long minimum, located 12 inches (305 mm) maximum from the rear wall and extending 34 inches (860 mm) minimum from the rear wall.



Figure 604.5.1 Side Wall Grab Bar at Water Closets. Figure 604.5.2 Rear Wall Grab Bar at Water Closets

- 604.5.2 Rear Wall: The rear wall grab bar shall be 36 inches (915 mm) long minimum and extend from the centerline of the water closet 12 inches (305 mm) minimum on one side and 24 inches (610 mm) minimum on the other side.

- 604.6 Flush Controls: Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 304. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.3.2.

- 604.7 Dispensers: Toilet paper dispensers shall comply with 304.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15 inches (380 mm) minimum and 49 inches (1250 mm) maximum above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow.

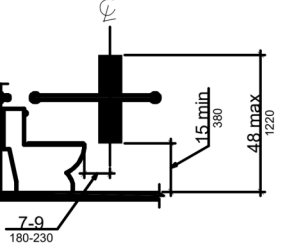


Figure 604.7 Dispenser Outlet Location

- 306 Knee and Toe Clearance

- 306.2 Toe Clearance.
- 306.2.1 General: Space under an element between the finish floor or ground and 4 inches (230 mm) above the finish floor or ground shall be considered toe clearance and shall comply with 306.2.
- 306.2.2 Maximum Depth: Toe clearance shall extend 25 inches (635 mm) maximum under an element.
- 306.2.3 Minimum Required Depth: Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 11 inches (280 mm) minimum under the element.
- 306.2.4 Additional Clearance: Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 4 inches (230 mm) above the finish floor or ground shall not be considered toe clearance.
- 306.2.5 Width: Toe clearance shall be 30 inches (760 mm) wide minimum.

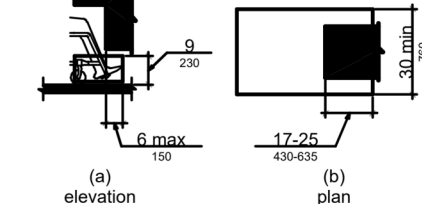


Figure 306.2 Toe Clearance

- 306.3 Knee Clearance.

- 306.3.1 General: Space under an element between 4 inches (230 mm) and 21 inches (530 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
- 306.3.2 Maximum Depth: Knee clearance shall extend 25 inches (635 mm) maximum under an element at 4 inches (230 mm) above the finish floor or ground.
- 306.3.3 Minimum Required Depth: Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be 11 inches (280 mm) deep minimum at 4 inches (230 mm) above the finish floor or ground, and 6 inches (205 mm) deep minimum at 21 inches (530 mm) above the finish floor or ground.
- 306.3.4 Clearance Reduction: Between 4 inches (230 mm) and 21 inches (530 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.
- 306.3.5 Width: Knee clearance shall be 30 inches (760 mm) wide minimum.

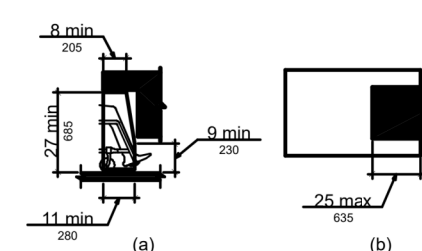


Figure 306.3 Knee Clearance

**DRAWINGS PROVIDED BY:**



(979) 739-2002

3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**

**SECTIONS & DETAILS AND NOTES**

**PROJECT DESCRIPTION:**

1122  
GROESBECK  
DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC

**CLIENT INFORMATION:**

JAIME  
HERNANDEZ  
HERNANDEZJAIME0384  
@GMAIL.COM  
979-402-2062

**SEAL**

**DATE:**

10/1/2024

**SCALE:**

FULL SCALE 24"x36"

**SHEET:**

**A5**



**FOUNDATION NOTES:**

\* BUILD 2' SELECT FILL PAD BELOW FOUNDATION. SELECT FILL SHALL HAVE A PI BETWEEN 8 AND 18. COMPACT IN 6" TO 8" LIFTS TO A MINIMUM 98% PROCTOR DENSITY WITH MOISTURE +/- 2% OF OPTIMUM

**I GENERAL**

- 1 EXTERIOR BEAMS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL OR FILL WHICH IS COMPACTED TO 95% STANDARD PROCTOR (ASTM D698) WITHIN +/-2% OF OPTIMUM MOISTURE CONTENT. ALL FILL MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 5 AND 18.
- 2 FOUNDATION SHALL HAVE A PRE-MULCHED EXPOSURE OF BETWEEN 6" AND 12" AT FINAL GRADE.
- 3 CONTRACTOR SHALL VERIFY FOUNDATION DIMENSIONS AGAINST FLOOR PLAN
- 4 A 6 MIL. POLY VAPOR BARRIER SHALL BE PLACED UNDER ALL CONCRETE
- 5 A 4" LAYER OF CUSHION SAND SHALL BE PLACED UNDER SLAB TO AID WITH GRADING
- 6 EXISTING VEGETATION SHALL BE STRIPPED AND PROOF ROLLED. AREAS FOUND TO BE SUBSTANDARD SHALL BE REMOVED OR REPLACED AS DIRECTED BY GENERAL CONTRACTOR.
- 7 ALL HORIZONTAL PLUMBING LINES SHALL BE INSTALLED BELOW THE GRADE BEAMS. PLUMBING LINES CROSSING THE EXTERIOR BEAMS SHALL BE MECHANICALLY COMPACTED
- 8 BEAMS SHALL BE FREE OF DEBRIS AND STANDING WATER BEFORE CONCRETE IS POURED

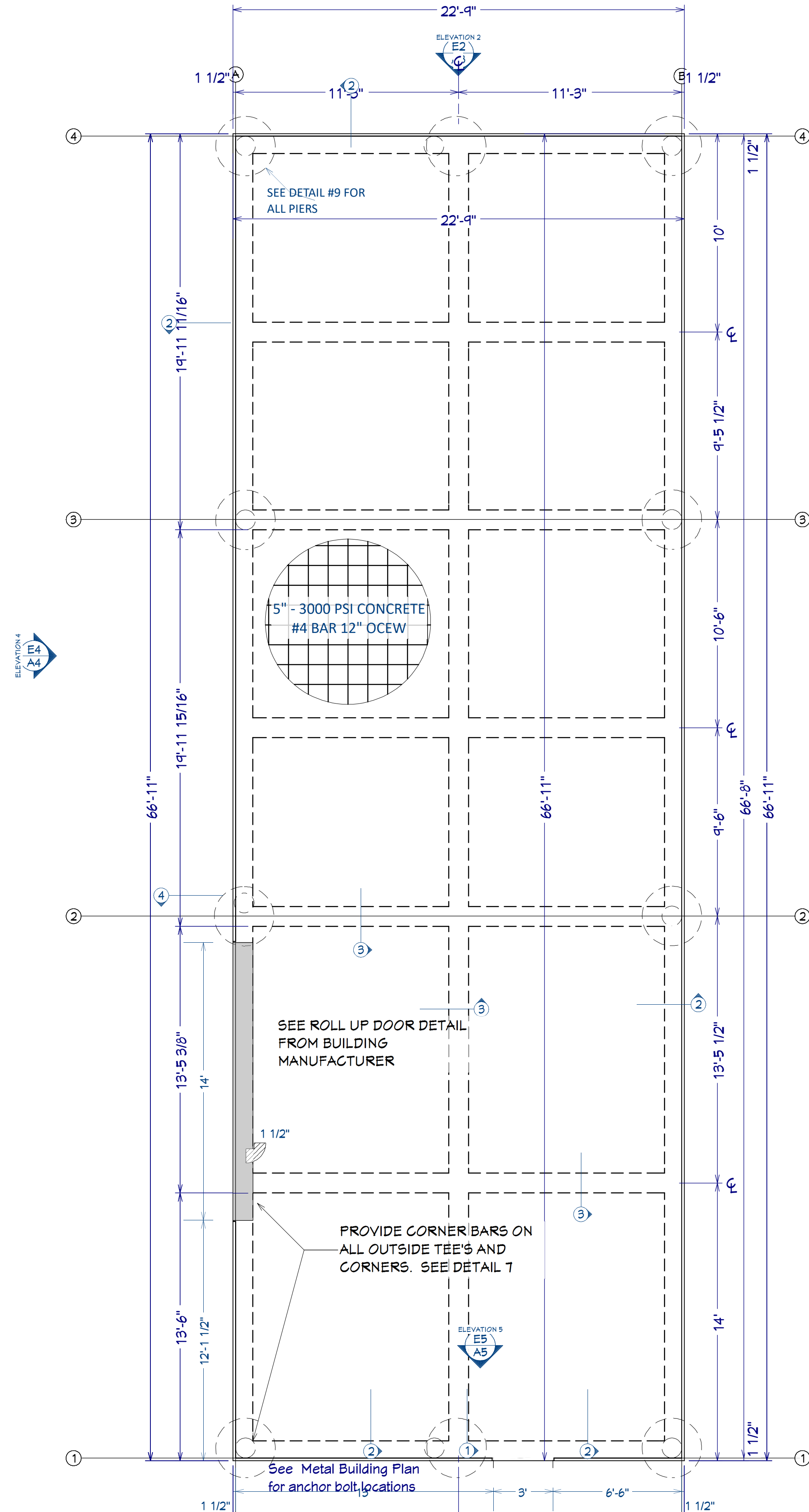
**II CONCRETE:**

- 1 MINIMUM CONCRETE SPECIFIED STRENGTH SHALL BE 3000 PSI @ 28 DAYS. IN ACCORDANCE WITH ASTM C-39
- 2 ALL CORNERS, EDGES AND PROTRUSIONS SHALL BE TOOLED
- 3 FLOAT AND TROWEL, OR FLOAT AND BROOM FLOOR SURFACES
- 4 SLAB DROPS BETWEEN HIGH PLACES SHALL NOT BE GREATER THAN 1/8" ALONG A 10' STRAIGHT EDGE.
- 5 CONCRETE FACES SHALL NOT DEVIATE MORE THAN 3/16" FROM THE PLAN
- 6 EXPOSED BEAMS SHALL BE RUBBED AND GROUTED TO REMOVE ALL HONEYCOMB

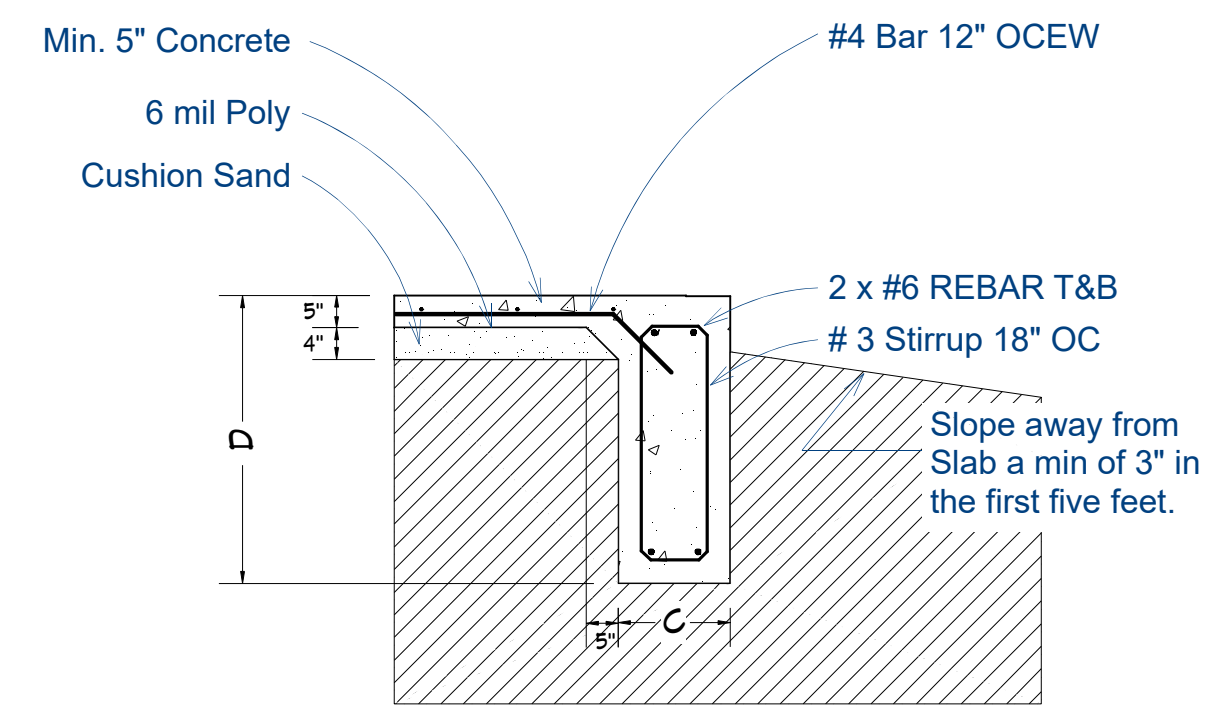
**III STEEL:**

- 1 REINFORCING REBAR SHALL BE GRADE 60. ALL DEFORMATIONS SHALL COMPLY WITH ASTM A615
- 2 DETAILING OF REINFORCING STEEL SHALL BE IN ACCORDANCE TO ACI 315 LATEST EDITION, UNLESS OTHERWISE STATED. PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH CRSI RECOMMENDED PRACTICES FOR PLACING REINFORCING BAR" LATEST EDITION.
- 3 BAR LAPS AND SPLICES SHALL BE A MINIMUM OF 30 BAR DIAMETERS
- 4 ALL REINFORCING BAR SHALL BE SUPPORTED WITH CHAIRS OR MASONRY BRICKS NOT MORE THAN 6" OC
- 5 REINFORCING BARS SHALL BE SECURED EVERY OTHER INTERSECTION, MINIMUM.
- 6 BEAMS MORE THAN 3' IN DEPTH SHALL HAVE 2 #5 BARS ADDED AT MID GRADE.
- 7 STEEL SHALL BE SET TO CLEAR BARE EARTH BY 3", STEEL OR WOOD FORMS BY 1-1/2"

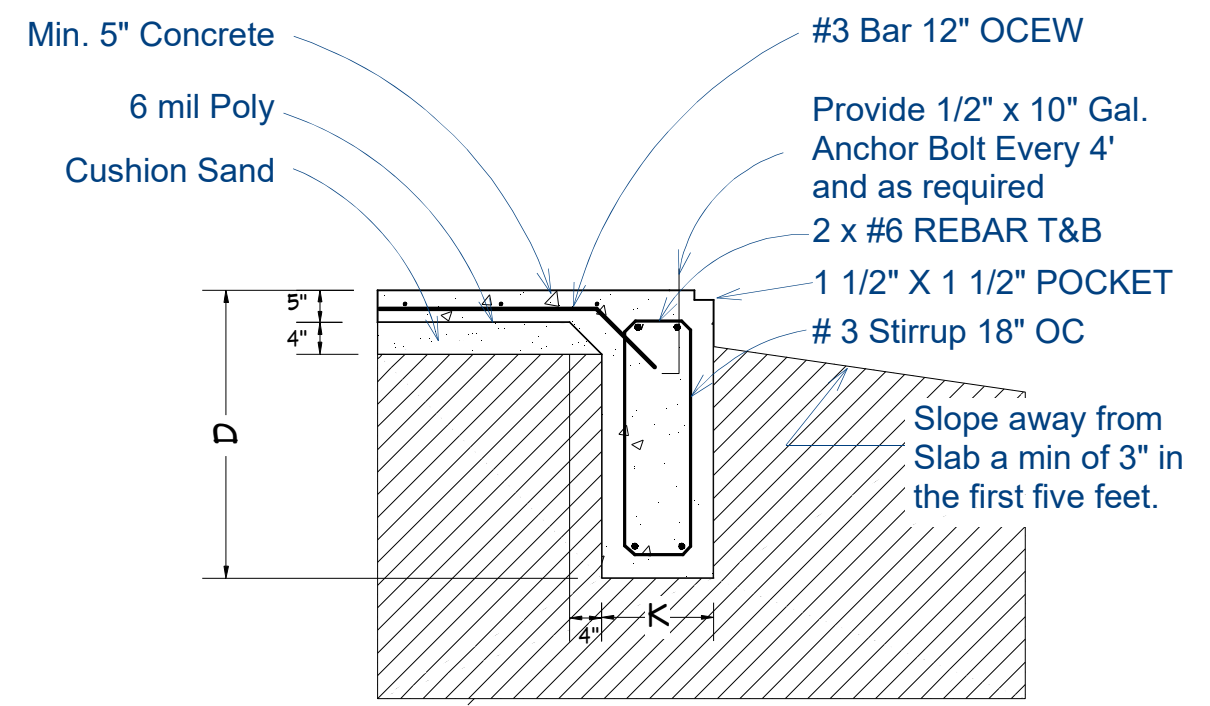
DIM	VALUE
A	12"
B	30"
C	12"
D	36"
E	1 1/2"
F	1 1/2"
G	SEE PLAN
H	SEE PLAN
I	SEE PLAN
J	SEE PLAN
K	3 1/2"
L	30"



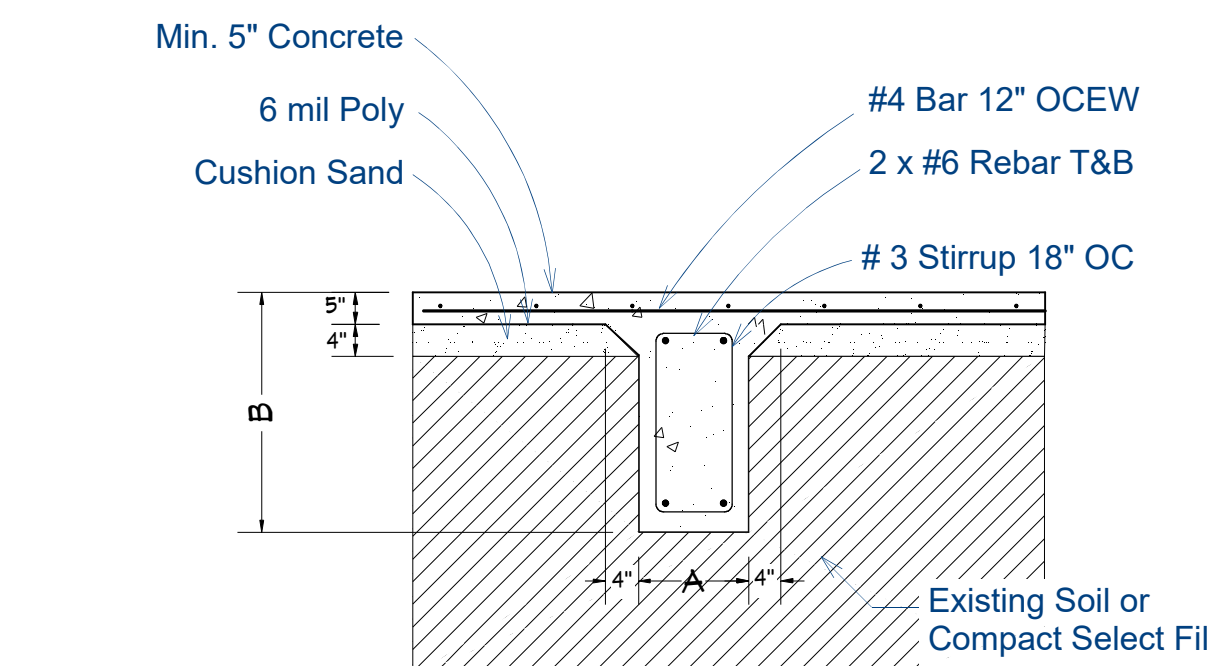
Foundation Plan  
1/4 in = 1 ft



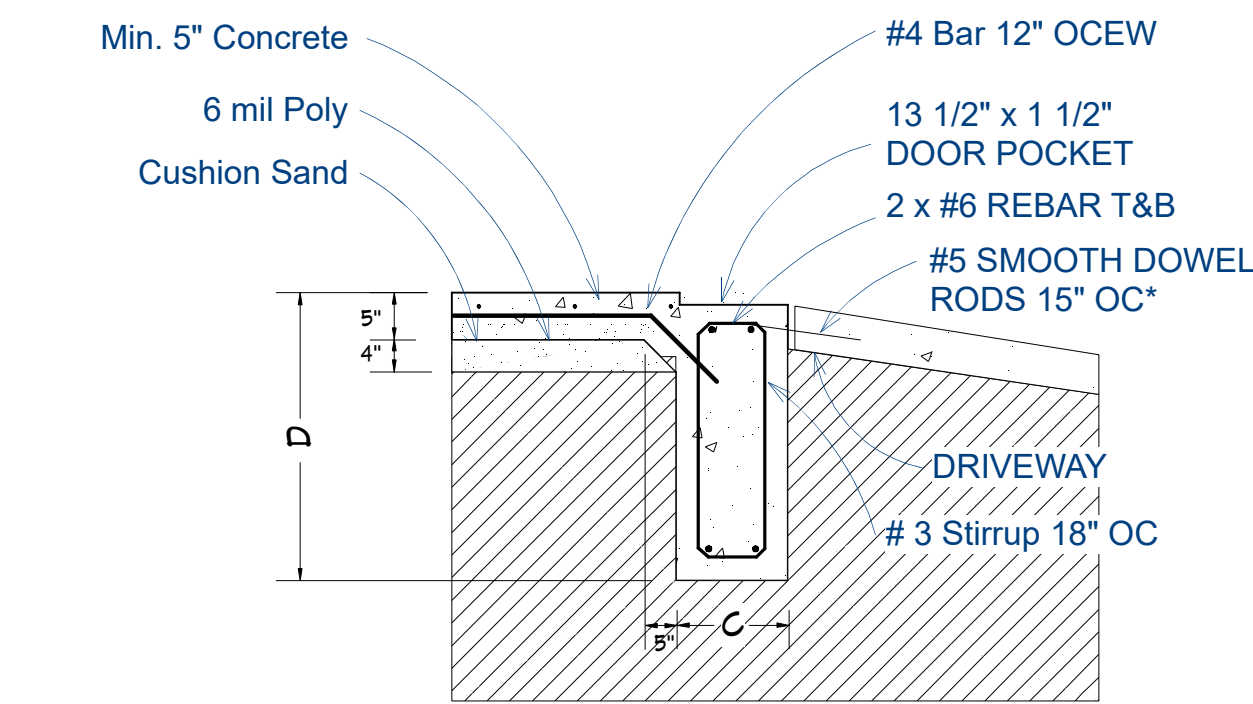
1 NO LEDGE BEAM DETAIL



2 SHEATHING POCKET BEAM DETAIL



3 INTERIOR BEAM DETAIL

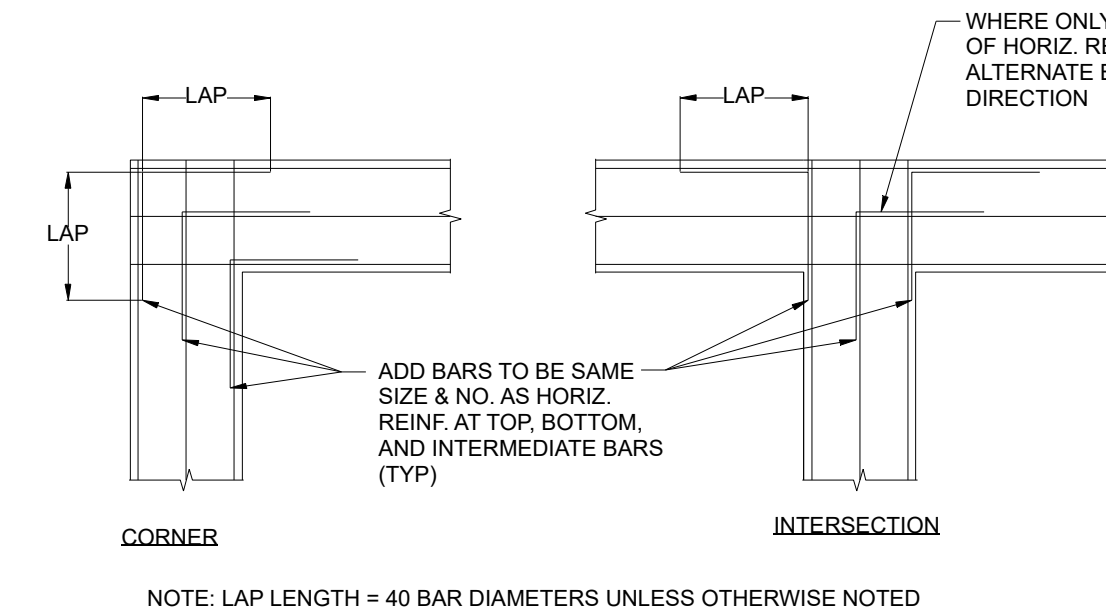


4 EXTERIOR BEAM DETAIL BRICK LEDGE

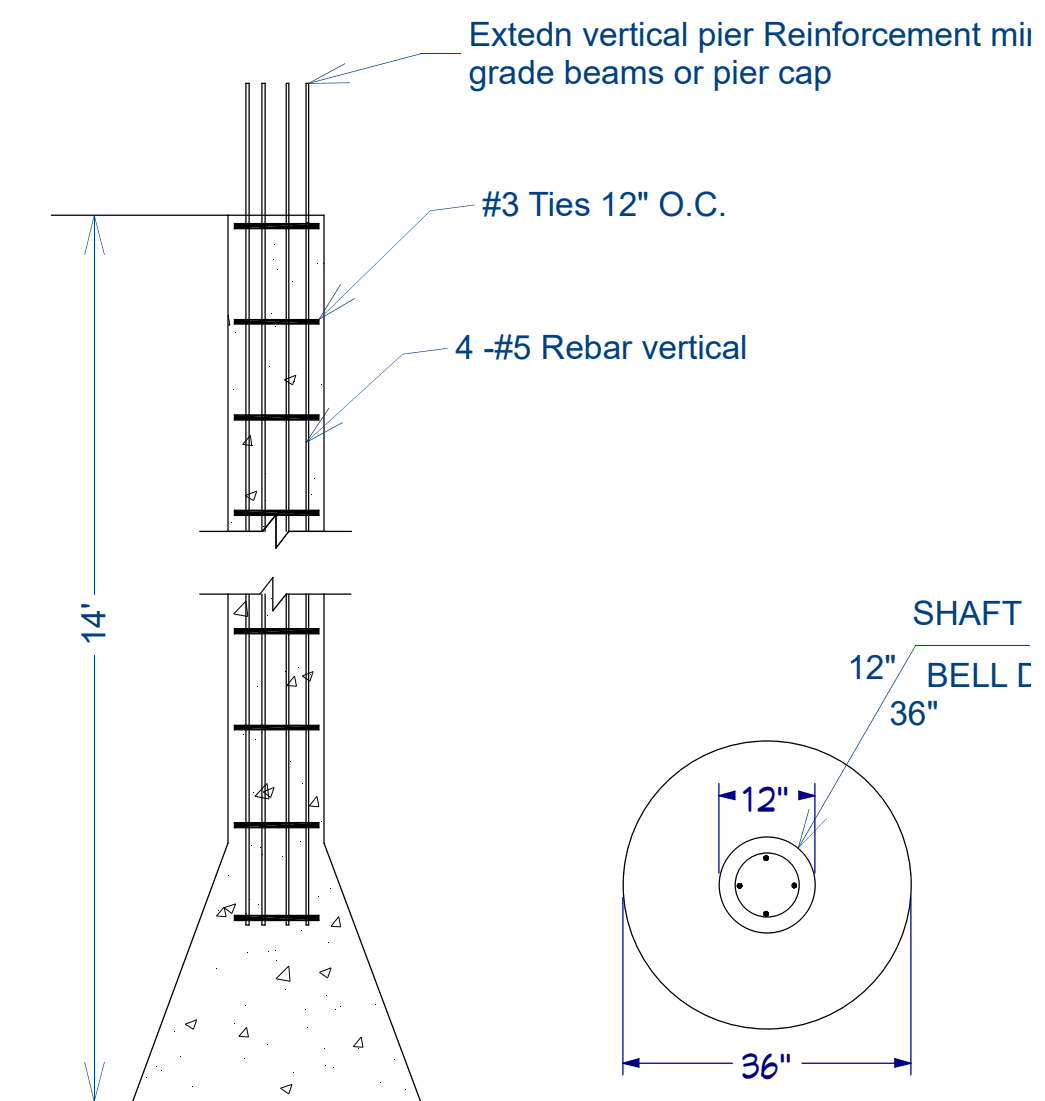
\* POUR DOWEL RODS WITH SLAB  
PROVIDE 3/4" ROSEWOOD EXPANSION  
SEAL WITH NP-1 AFTER DRIVEWAY SETS  
USE GREASE & DOWEL ROD COVERS ON SECONDARY SIDE  
WHEN POURING DRIVE

**SUBGRADE PREPARATION:**

**STRIP:** TOP 2' OF SOIL EXTENDING 5' BEYOND THE BUILDING FOOTPRINT.  
**MOISTURE CONDITION:** REMOVE SOIL TO 7' BELOW FINISHED FLOOR AND STOCKPILE SOIL. MOISTURE CONDITION THE SOIL PLACING IT IN 6-8" LIFTS COMPACTING TO 93-98% STANDARD PROCTOR WITH A MINIMUM MOISTURE CONTENT OF 4 POINTS ABOVE OPTIMUM  
**FILL TO A HEIGHT 2.5' BELOW FINISHED FLOOR (DO NOT OVER COMPACT)**  
**SELECT FILL:** FILL WITH SELECT FILL TO 6" BELOW FINISHED FLOOR, IN 6-8" LIFTS COMPACTING ABOVE 95% STANDARD PROCTOR WITH MOISTURE +/- 2 POINTS OF OPTIMUM. REFER TO GEOTECH REPORT QGH-24-0132 FOR FURTHER SPECIFICATIONS.



7 TYPICAL CORNER BAR DETAIL



9 TYPICAL BELL PIER DETAIL

**DRAWINGS PROVIDED BY:**

THE  
*Ben Brown*  
GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**

FOUNDATION  
PLAN AND  
DETAILS

**PROJECT DESCRIPTION:**

1122  
GROESBECK  
DRIVE  
BRYAN, TEXAS  
LOTS 6  
COULTER'S ADDITION  
0.158AC

**CLIENT INFORMATION:**

JAIME  
HERNANDEZ  
HERNANDEZJAIME0384  
@GMAIL.COM  
979-402-2062

**SEAL**

**DATE:**

10/1/2024

**SCALE:**

FULL SCALE 24"X36"

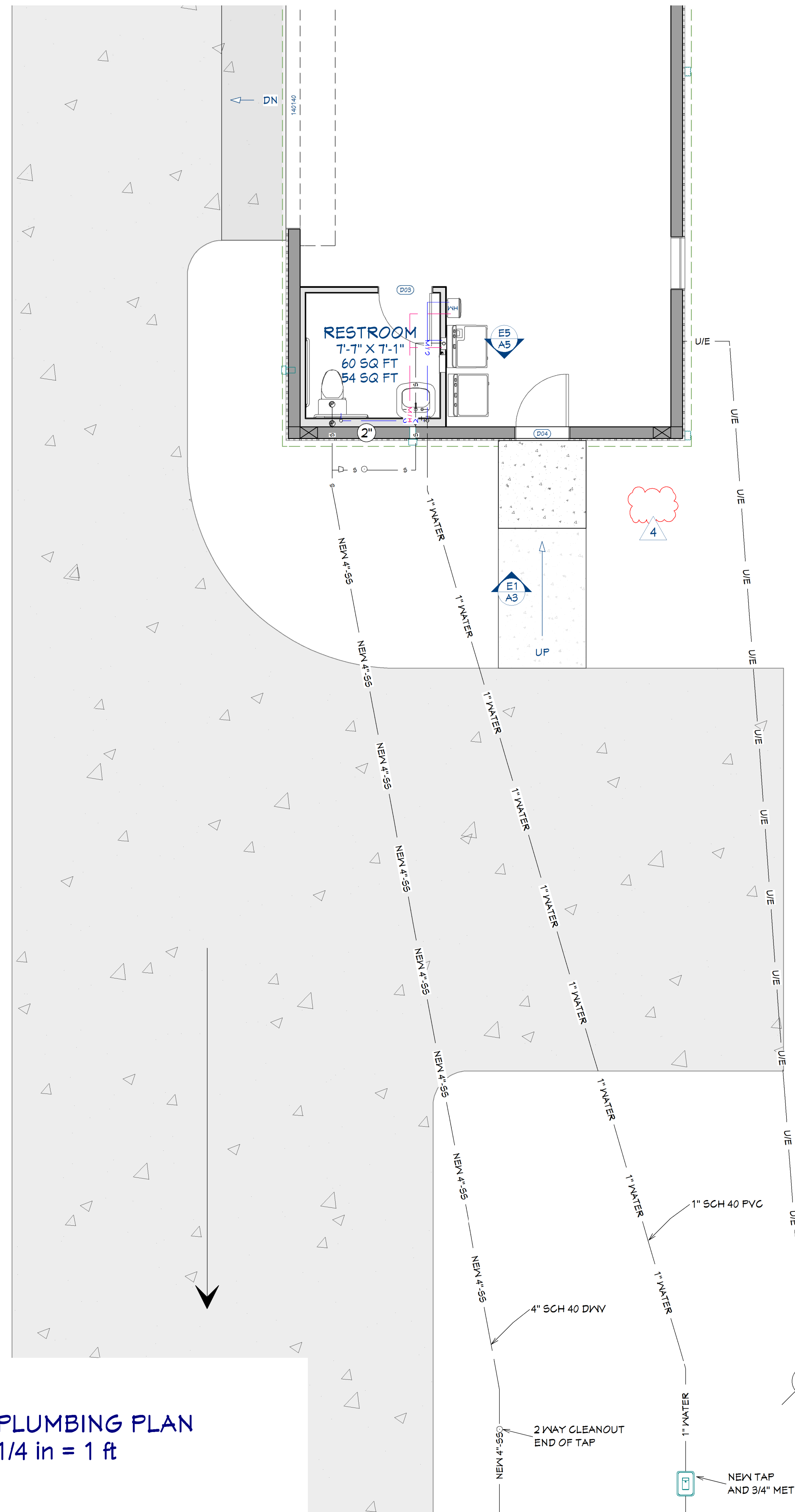
**SHEET:**

**S1**

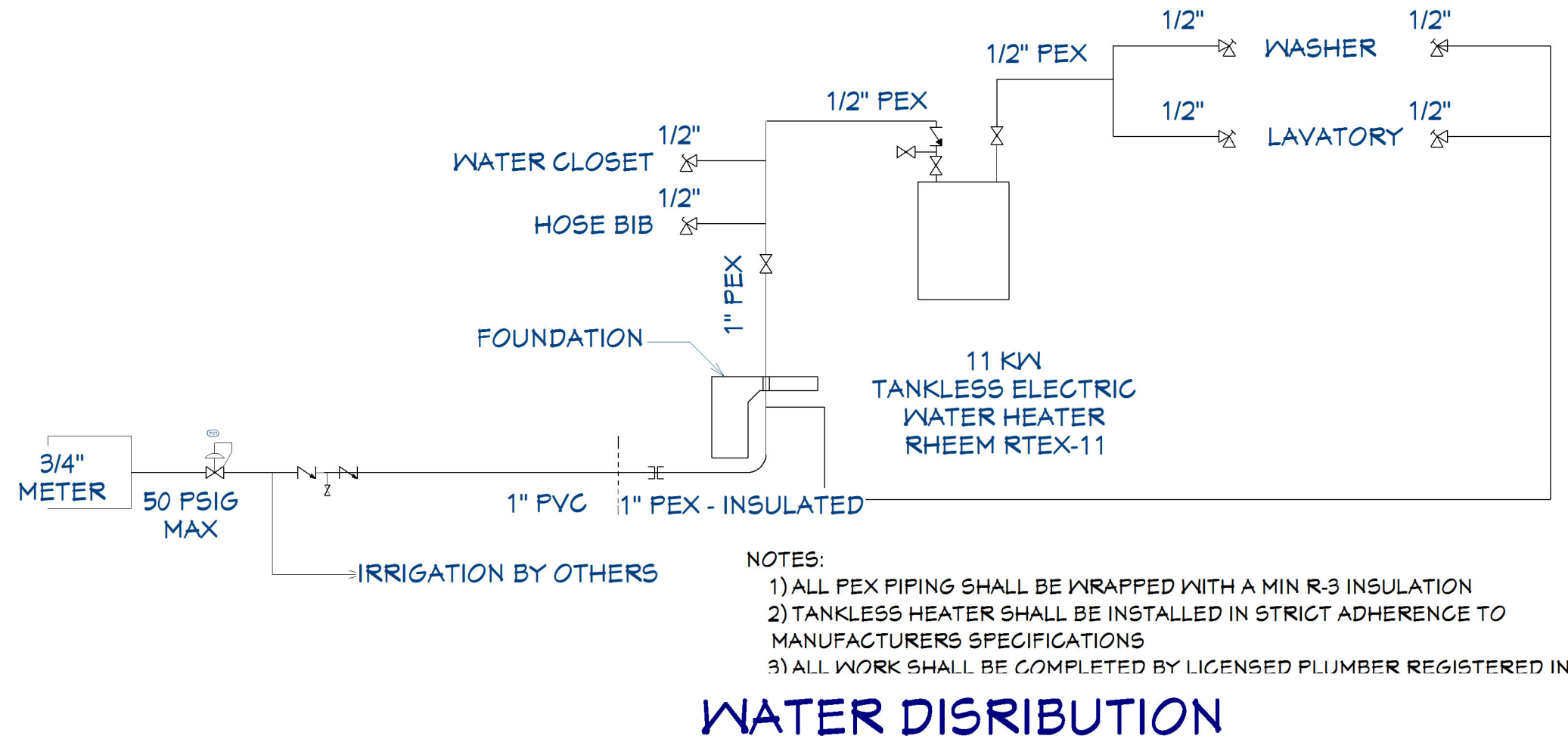






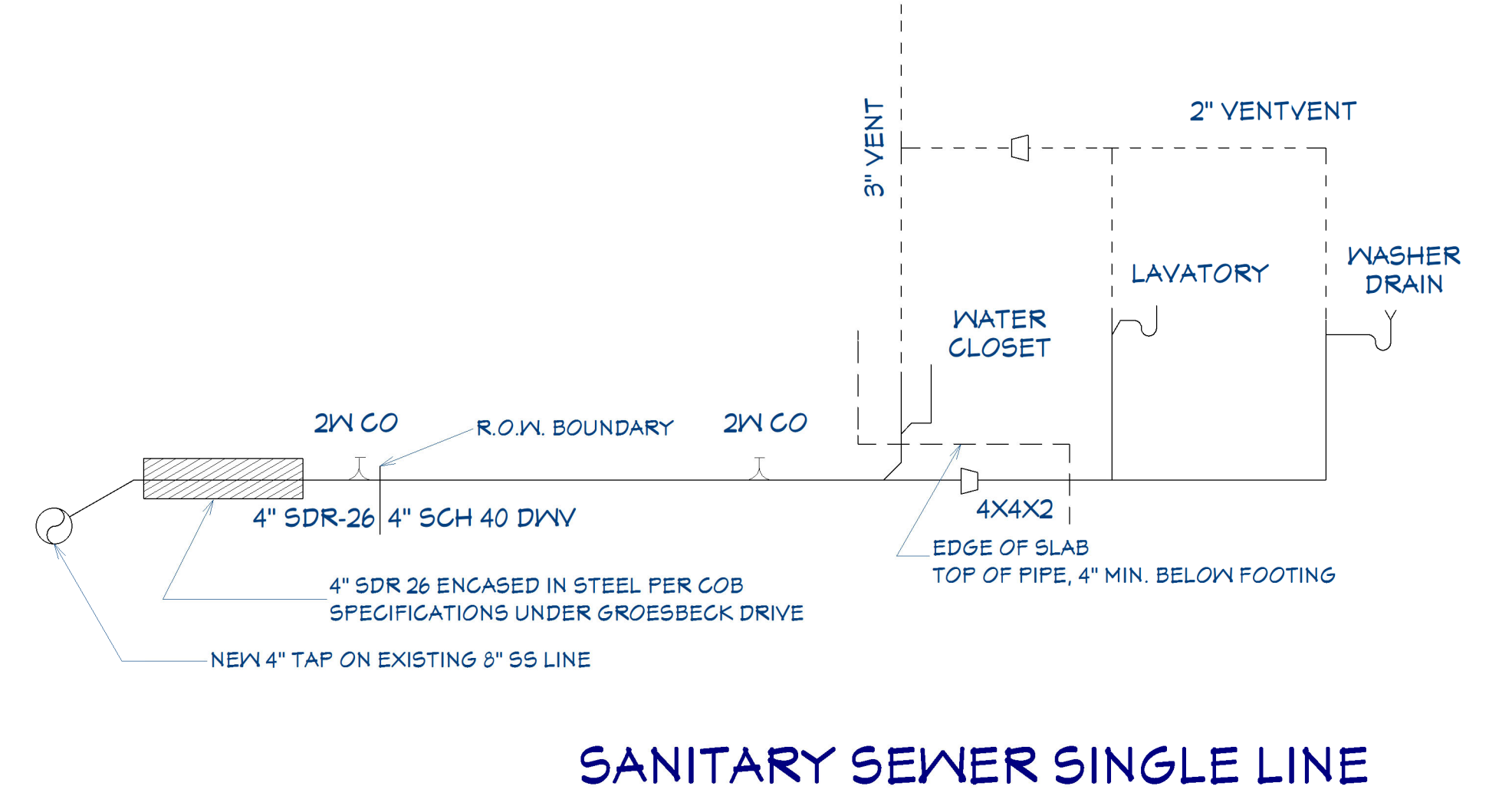


**PLUMBING PLAN**  
1/4 in = 1 ft

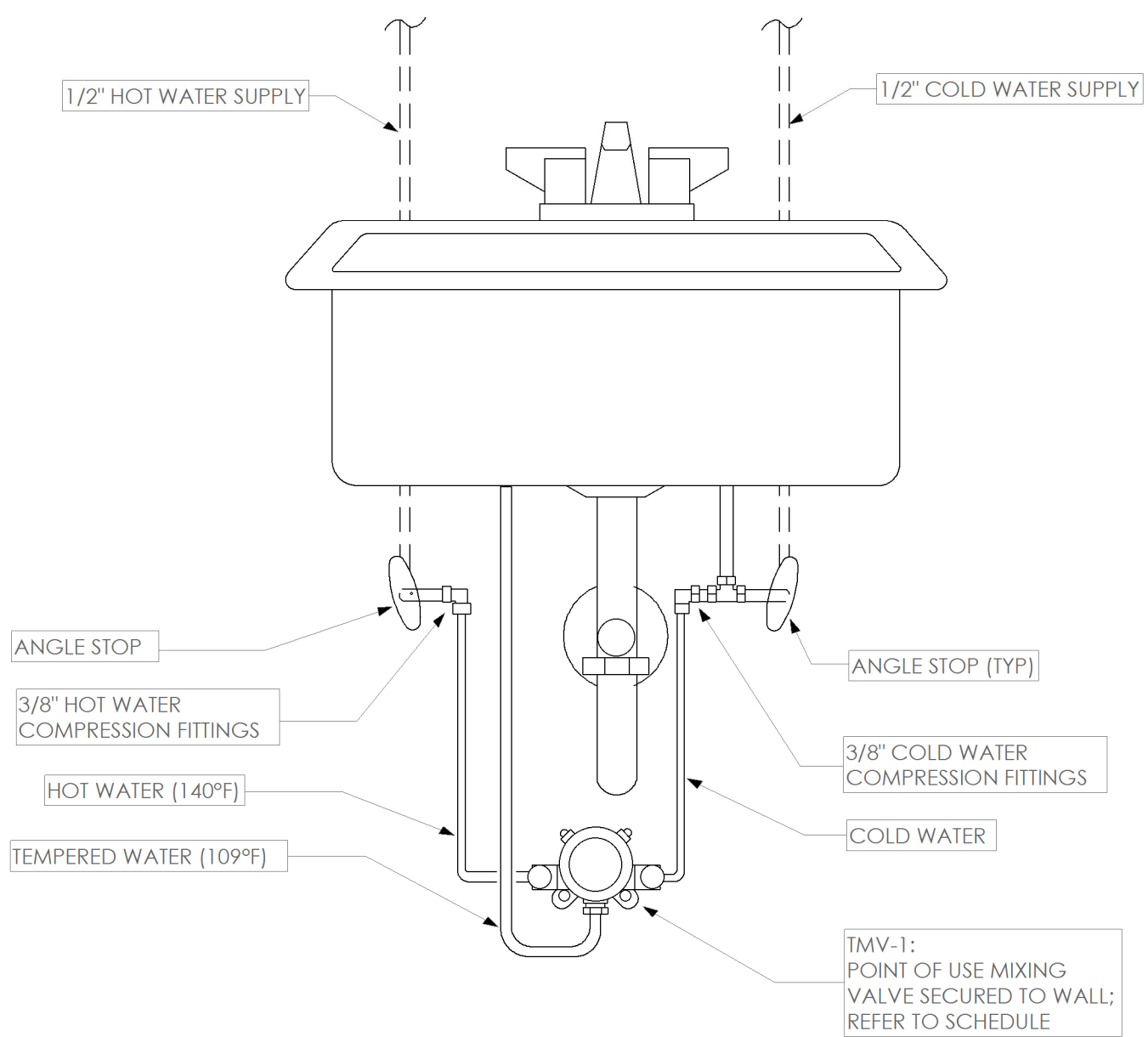


**WATER DISTRIBUTION**

**REFERENCE CODES:**  
AS AMENDED BY THE CITY OF BRYAN, TEXAS:  
BUILDING CODE: 2021 IBC  
ELECTRICAL CODE: 2023NEC  
MECHANICAL CODE: 2021 IMC  
PLUMBING CODE: 2021 IPC  
ACCESSIBILITY: TAS 2012, ANSI 117.1-2017  
ENERGY CODE: 2018 IECC



**SANITARY SEWER SINGLE LINE**



**MIXING VALVE PLUMBING DETAIL**

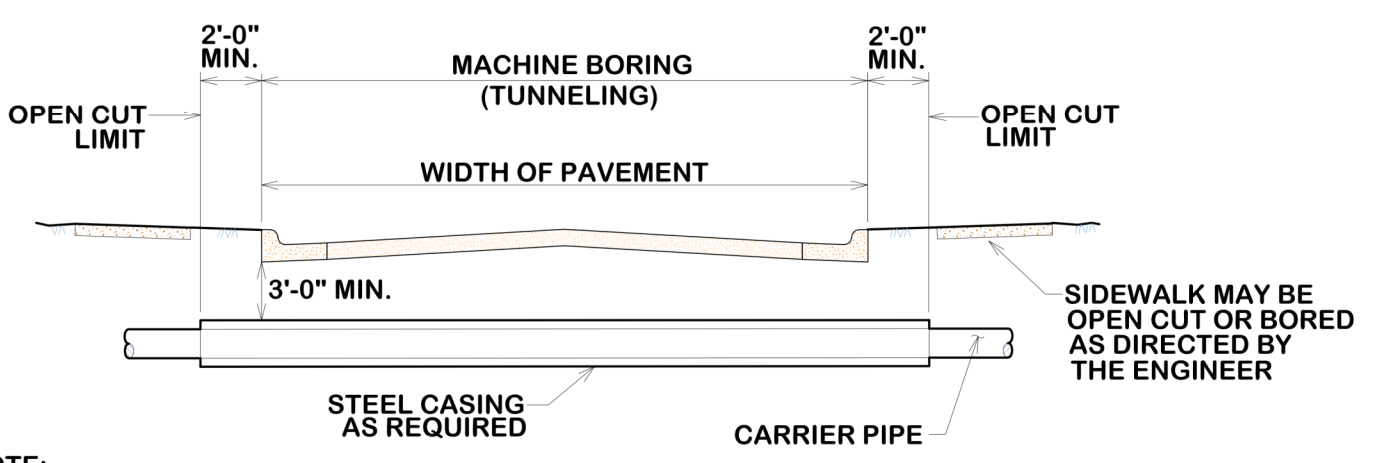
**GENERAL NOTES:**

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM.

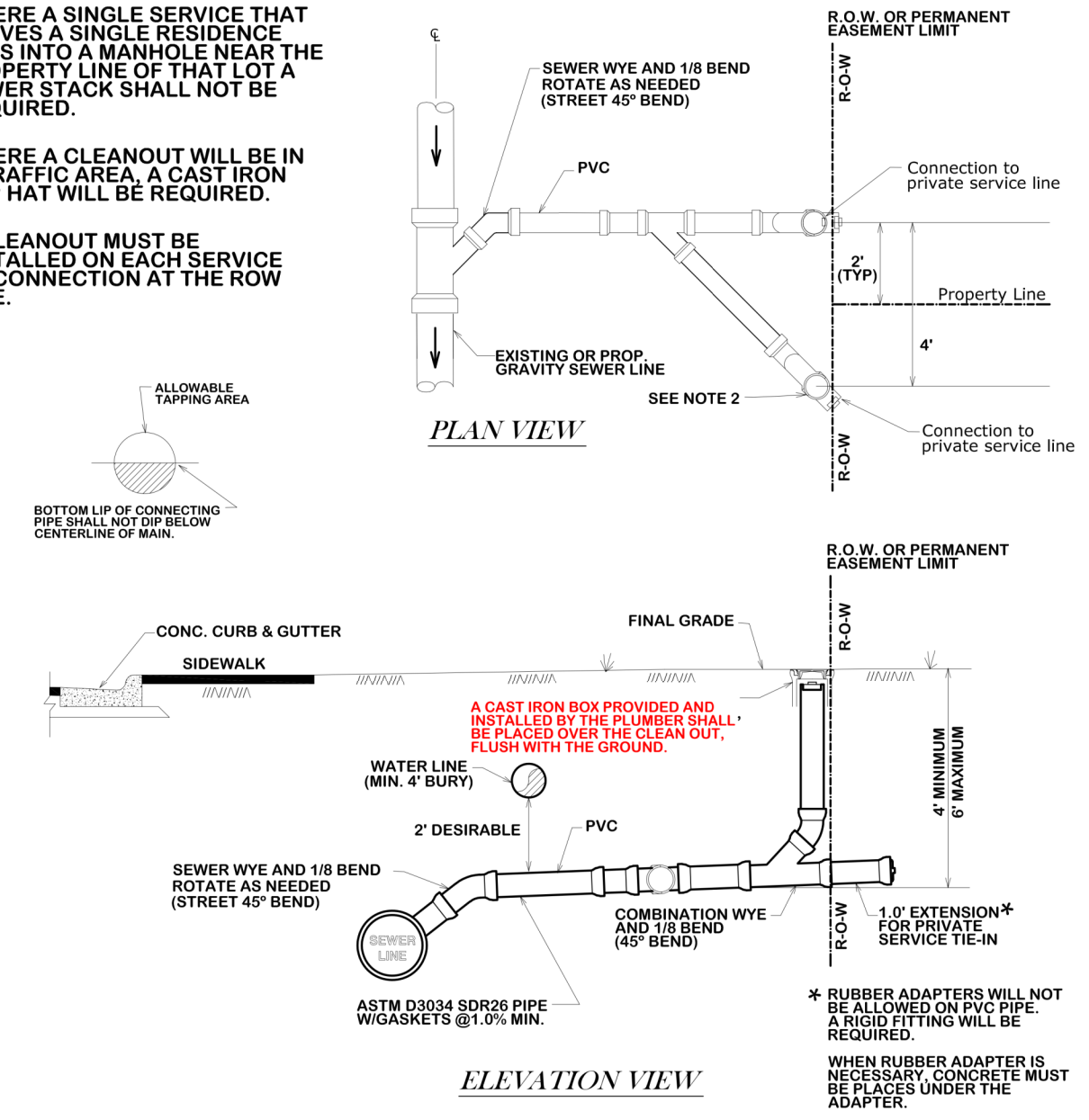


- NOTE:**
- FOR MORE INFORMATION ON WATER AND SEWER LINE CROSSING SEE CITY STANDARD SPECIFICATION FOR WATER AND SEWER LINE CONSTRUCTION.
  - STEEL CASING SHALL BE AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS.
  - DRY BORING PREFERRED, WET BORING ALLOWED ONLY WHEN APPROVED BY THE CITY ENGINEER.

	TYPICAL URBAN CITY STREET CROSSING			
	DATE	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO.	
	DEC 2020		S5-04	

**NOTE:**

- ALL MATERIAL SHALL BE ASTM D3034 SDR26 W/ GASKETS
- SERVICE SHALL BE AS SHALLOW AS POSSIBLE AND STILL SERVICE LOT
- WHERE A SINGLE SERVICE THAT SERVES A SINGLE RESIDENCE TAPS INTO A MANHOLE NEAR THE PROPERTY LINE OF THAT LOT A SEWER STACK SHALL NOT BE REQUIRED.
- WHERE A CLEANOUT WILL BE IN A TRAFFIC AREA, A CAST IRON TOP HAT WILL BE REQUIRED.
- A CLEANOUT MUST BE INSTALLED ON EACH SERVICE RE-CONNECTION AT THE ROW LINE.



	STANDARD SEWER SERVICE RE-CONNECTION			
	DATE	B/C'S UNIFIED STANDARD DETAIL	DETAIL NO.	
	APR 2024		S6-01	

**DRAWINGS PROVIDED BY:**  
  
THE  
*Ben Brown*  
GROUP  
  
(979) 739-2002  
3709 SWEETBRIAR DRIVE  
BRYAN, TEXAS  
77802

**IN CONJUNCTION WITH:**

**SHEET TITLE:**  
**PLUMBING PLAN**

**PROJECT DESCRIPTION:**  
**1122 GROESBECK DRIVE BRYAN, TEXAS LOTS 6 COULTER'S ADDITION 0.158AC**

**CLIENT INFORMATION:**  
**JAIME HERNANDEZ**  
HERNANDEZJAIME0384@GMAIL.COM  
979-402-2062

**SEAL**

**DATE:**  
10/1/2024  
**SCALE:**  
FULL SCALE 24"X36"  
**SHEET:**

**P1**